

# PROPOSED SINGLE STORY ADDITION

360 TAHQUITZ STREET SAN JACINTO, CA 92583

OWNER:

DRAFTING:

STRUCT. ENG:

TITLE 24:

GRAL. CONTRACTOR:

J A. FLORES

11145 WALNUT ST.

EL MONTE, CA 91731

NRG COMPLIANCE INC.

## GENERAL NOTES:

1. THE OWNER/CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH ANY CONSTRUCTION WORK.
2. DO NOT SCALE DRAWINGS.
3. ALL DIMENSIONS ARE TO FACE STUDS, CONCRETE BLOCK, OR CENTER LINE OF STUDS.
4. ALL WORK, CONSTRUCTION, AND MATERIALS SHALL COMPLY WITH ALL PROVISION OF THE BUILDING CODE AND WITH OTHER RULES, COVERING THE PLACE OF THE BUILDING PROJECT. LOCAL BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE OWNER OF ANY DISCREPANCIES OR CONFLICTS BETWEEN REQUIREMENTS OF THE CODE AND DRAWINGS.
5. REFERENCE TO ANY DETAILS OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWING.
6. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWING AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED BY THE OWNER PRIOR TO THE INSTALLATION OF ANY WORK.
7. THE OWNER IS RESPONSIBLE FOR ALL WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
8. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE UNLESS OTHERWISE SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE OWNER SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, TO ACHIEVED THE FINISHED STRUCTURE.
9. MAINTAIN SANITARY TOILET FACILITIES DURING CONSTRUCTION AS REQUIRED BY APPLICABLE REGULATIONS.
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR COORDINATING HIS WORK AND/OR EQUIPMENT SUPPLIED BY THE CONTRACTOR.
11. THE DESIGNER/DRAFTER WILL NOT BE RESPONSIBLE FOR ANY ACTION TAKEN BY ANYONE ON THE PROJECT IF THAT PERSON IS KNOWLEDGEABLE OF ANY DISCREPANCIES, OMISSIONS, OR AMBIGUITY IN THE DRAWINGS OR SPECIFICATIONS UNTIL THE DESIGNER/DRAFTER HAS BEEN NOTIFIED, HAS CORRECTED THE DISCREPANCY OR MORE CLEARLY EXPLAINED THE CONTENTS OF THE DRAWINGS OR SPECIFICATIONS.
12. GLAZING MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE SPECIFICATIONS SECTION 08800 AND U.B.C. SEC. 3312 AND SEC. 3314
13. FIXED WINDOWS SHALL BE SEALED TO LIMIT AIR INFILTRATION. ALL DOORS SHALL LIMIT AIR LEAKAGE AROUND THEIR PERIMETER WHEN IN A CLOSE POSITION PROVIDE SEAL OR ASTRAGAL AT THE HEAD, SILL AND WALL JAMBS. OPEN EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALL AND ROOF, BETWEEN PANELS AND AT PENETRATIONS OF UTILITIES THRU ENVELOPE SHALL BE SEALED, CAULK OR WHEATHER STRIPPED TO LIMIT AIR LEAKAGE.
14. IF REQUIRED BY THE BUILDING INSPECTOR, A PROTECTION FENCE SHALL BE CONSTRUCTED AND MAINTAINED CONFORMING TO THE REQUIREMENTS OF THE THE BUILDING CODE.

15. CONTINOUS INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED FOR ALL CONCRETE DESIGNED W/ F'C GREATER THAN 2500 PSI. AT GRADE BEAM CONCRETE.
16. CONTINOUS INSPECTION BY A DEPUTY INSPECTOR REQUIRED FOR HIGH STREIGHT BOLTS.
17. ALL INTERIOR FLOORING, COLORS, AND ALL OTHER DECORATIVE MATERIAL TO BE DETERMINED BY OWNER.
18. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE DONE PER CITY STANDARDS.
19. GOVERNING CODES FOR THIS PROJECT ARE THE 2001 CALIFORNIA BUILDING (CBC), ELECTRICAL (CEC), ENERGY (T24-6), MECHANICAL (CMC), AND PLUMBING (CPC) CODES WITH LOCAL AMENDMENTS.

STRUCTURAL OBSERVATION WILL BE PERFORMED WHEN REQUIRED BY THE BUILDING OFFICIAL

**REQUIRED SPECIAL INSPECTIONS:**  
-IN ADDITION TO THE REGULAR INSPECTIONS, THE FOLLOWING ITEMS WILL ALSO REQUIRE SPECIAL INSPECTION IN ACCORDANCE WITH SEC.1701 UBC

EPOXY ANCHORS, SPECIAL INSPECTION REQUIRED (SEE SPECIAL INSPECTION PROGRAM)

## VICINITY MAP



## BUILDING SUMMARY

### EXISTING HOUSE:

FIRST FLOOR LIVING AREA \_\_\_\_\_ 925 SF  
CARPORT AREA \_\_\_\_\_ 280 SF

### PROPOSED ADDITION:

LIVING AREA \_\_\_\_\_ 1322 SF  
GARAGE \_\_\_\_\_ 380 SF

TOTAL PROPOSED NEW CONSTRUCTION: \_\_\_\_\_ 1702 SF

LOT SIZE: \_\_\_\_\_ 6041 SF

PROPOSED RESIDENCE EXISTING & ADDITION: \_\_\_\_\_ 2627 SF (INCLUDING GARAGE)

LOT COVERAGE \_\_\_\_\_ 43%

360 TAHQUITZ STREET  
LOT NO.  
ZONNING:  
APN:  
TYPE OF CONSTRUCTION:  
OCCUPANCY:

## SHEET INDEX

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- S\_1.1 DETAILS
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SHEET NO:

A\_01

DOOR SCHEDULE

	ID	MANUFACTURE	FRAME	W x H	TYPE	REMARKS
NEW	①			3'-0" X 6'-8"	SOLID WOOD	EXTERIOR DOOR WITH LOCK-SET/HARDWARE
NEW	②			2'-6" X 6'-8"	SOLID WOOD/SELF CLOSING	20 MIN. FIRE RATED DOOR WITH LOCK-SET/HARDWARE
NEW	③			2'-4" X 6'-8"	SOLID WOOD/SELF CLOSING	20 MIN. FIRE RATED DOOR WITH LOCK-SET/HARDWARE
NEW	④			2'-4" X 6'-8"	HOLLOW WOOD	INTERIOR DOOR WITH HARDWARE
EXIST.	⑤			2'-4" X 6'-8"	HOLLOW WOOD	INTERIOR DOOR WITH HARDWARE
EXIST.	⑥			3'-0" X 6'-8"	SOLID WOOD	EXTERIOR DOOR WITH LOCK-SET/HARDWARE
NEW	⑦			2'-6" X 6'-8"	SOLID WOOD	EXTERIOR DOOR WITH LOCK-SET/HARDWARE

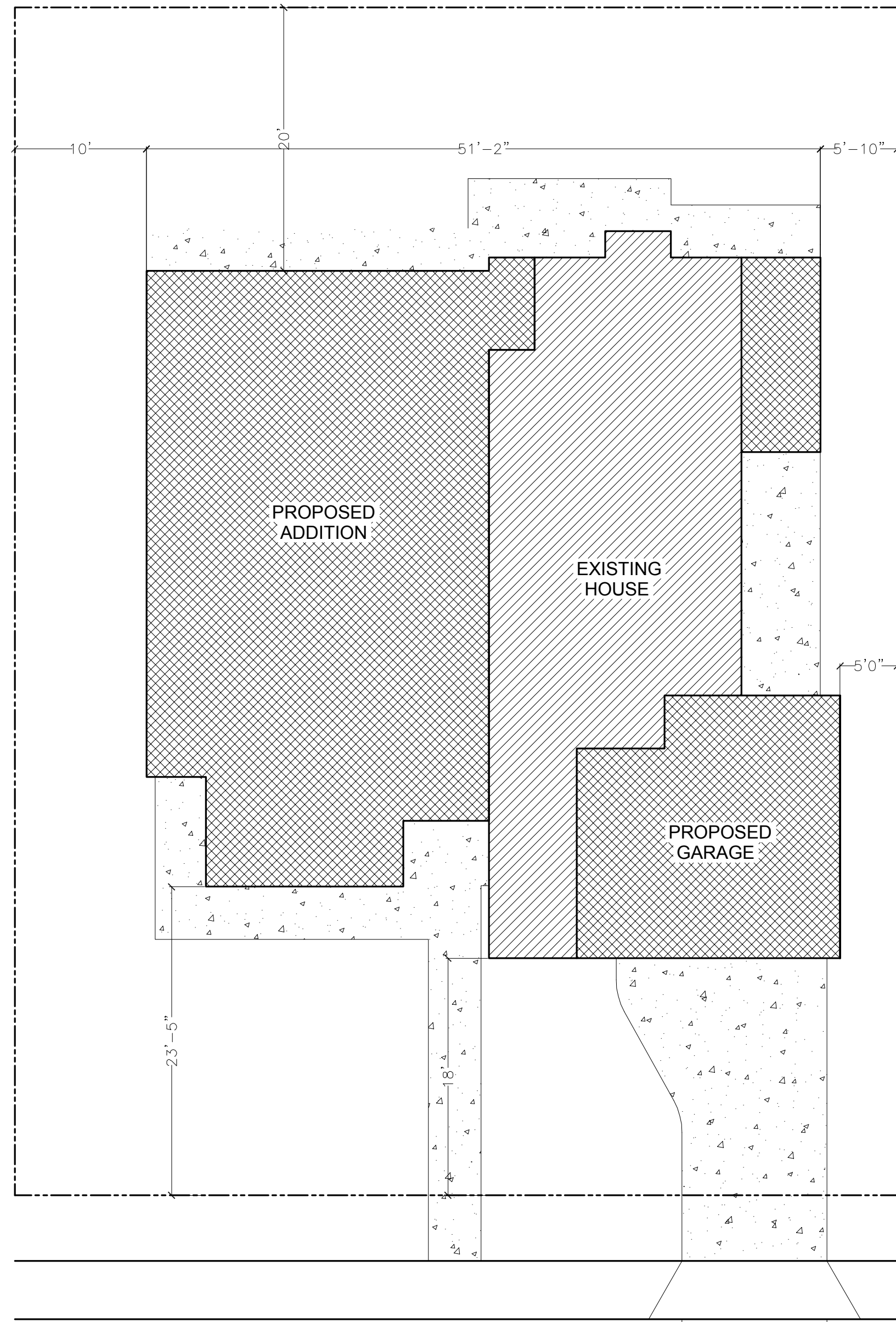
WINDOW SCHEDULE

	ID	MANUFACTURE	STYLE	W x H	FRAME	GLAZING	SCREEN	REMARKS
NEW	Ⓐ		HORIZ. SLIDE	6'-0" X 4'-0"	ALUM.	DOUBLE	FULL	U-FACTOR: .600, SHGC: .65
NEW	Ⓑ		VERT. SLIDE	3'0" X 4'-0"	ALUM.	DOUBLE/TEMPERED	FULL	U-FACTOR: .600, SHGC: .65
NEW	Ⓒ		HORIZ. SLIDE	3'-0" X 2'-0"	ALUM.	DOUBLE/TEMPERED	FULL	U-FACTOR: .600, SHGC: .65
NEW	Ⓓ		VERT. SLIDE	3'-0" X 4'-0"	ALUM.	DOUBLE	FULL	U-FACTOR: .600, SHGC: .65
NEW	Ⓔ		HORIZ. SLIDE	3'-0" X 3'-0"	ALUM.	DOUBLE	FULL	U-FACTOR: .600, SHGC: .65
NEW	Ⓕ		HORIZ. SLIDE	4'-0" X 4'-0"	ALUM.	DOUBLE	FULL	U-FACTOR: .600, SHGC: .65
EXIST.	Ⓖ		UP HUNG	3'-0" X 1'-8"	ALUM.	DOUBLE	FULL	
NEW	Ⓗ		HORIZ. SLIDE	5'-0" X 4'-0"	ALUM.	DOUBLE	FULL	U-FACTOR: .600, SHGC: .65
NEW	Ⓙ		VERT. SLIDE	2'-8" X 3'-0"	ALUM.	DOUBLE	FULL	U-FACTOR: .600, SHGC: .65
EXIST.	Ⓚ		VERT. SLIDE	2'-8" X 3'-0"	ALUM.	DOUBLE	FULL	
NEW	Ⓛ		HORIZ. SLIDE	3'-0" X 2'-0"	ALUM.	DOUBLE	FULL	U-FACTOR: .600, SHGC: .65

**NOTE:**  
 ALL NEW GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION. MANUFACTURERS TO SUPPLY CERTIFICATE OF COMPLIANCE TO THE OWNER.

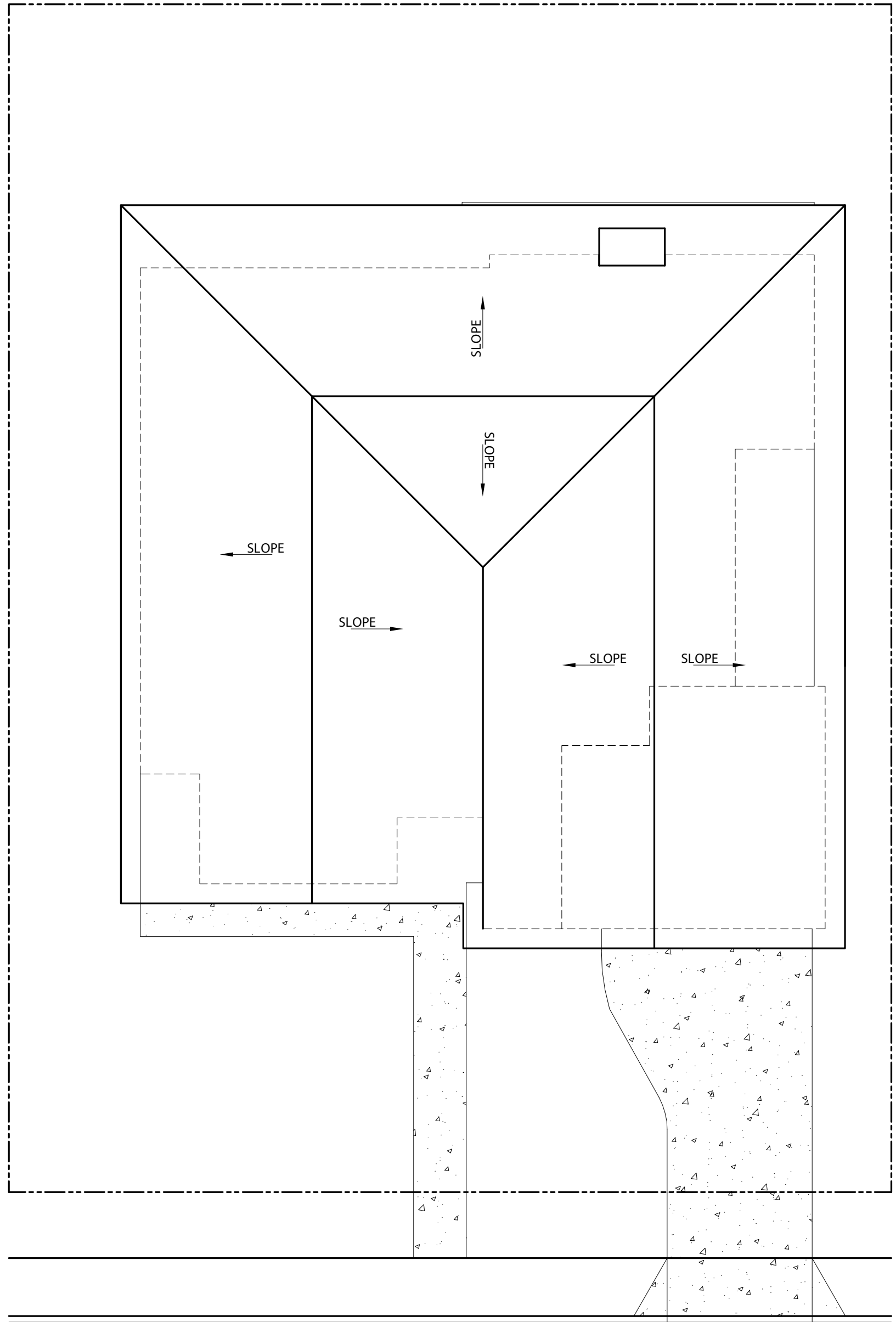
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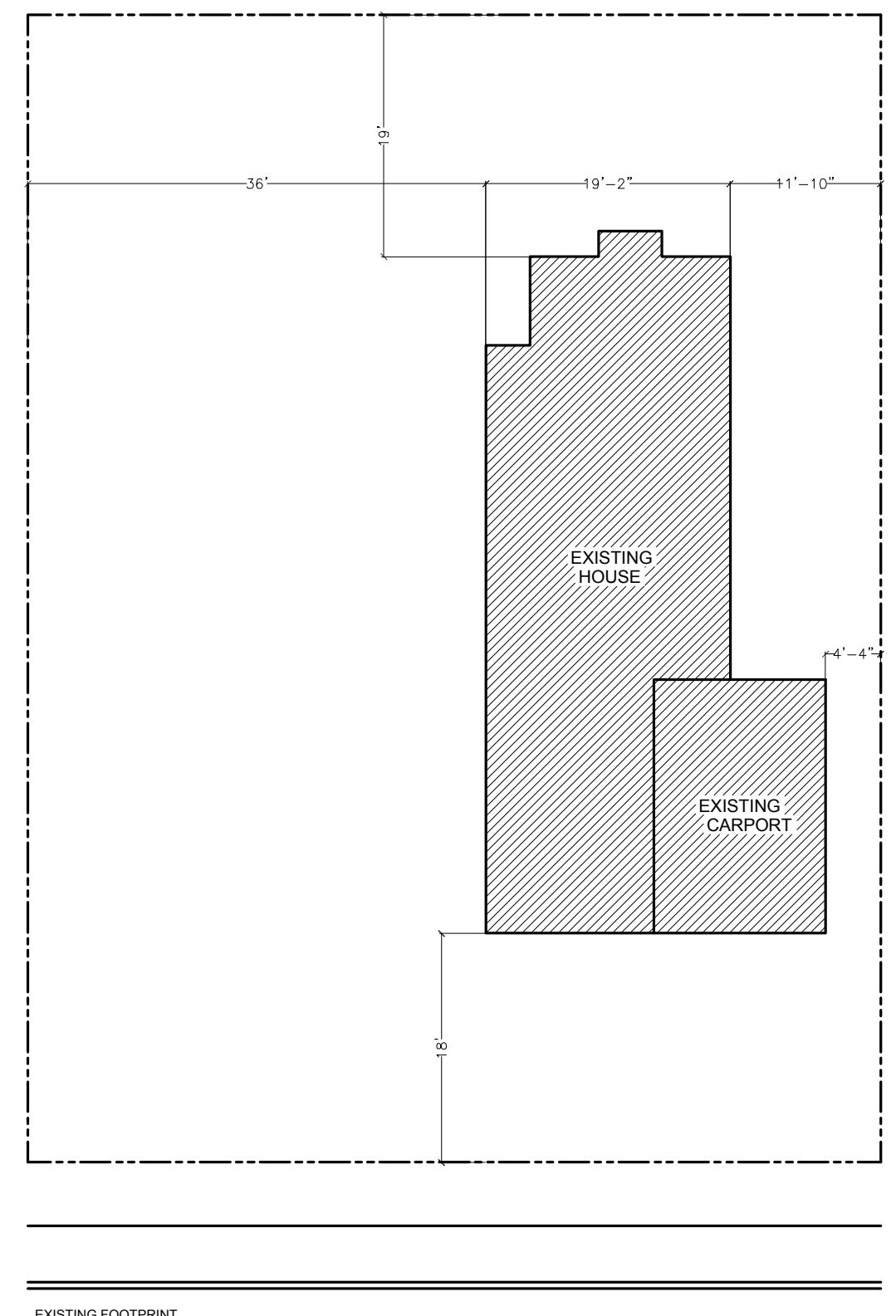
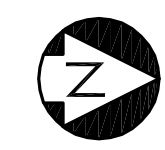
PROPOSED FOOTPRINT

**PROPOSED SITE PLAN**  
SCALE: 1/8" = 1'-0"



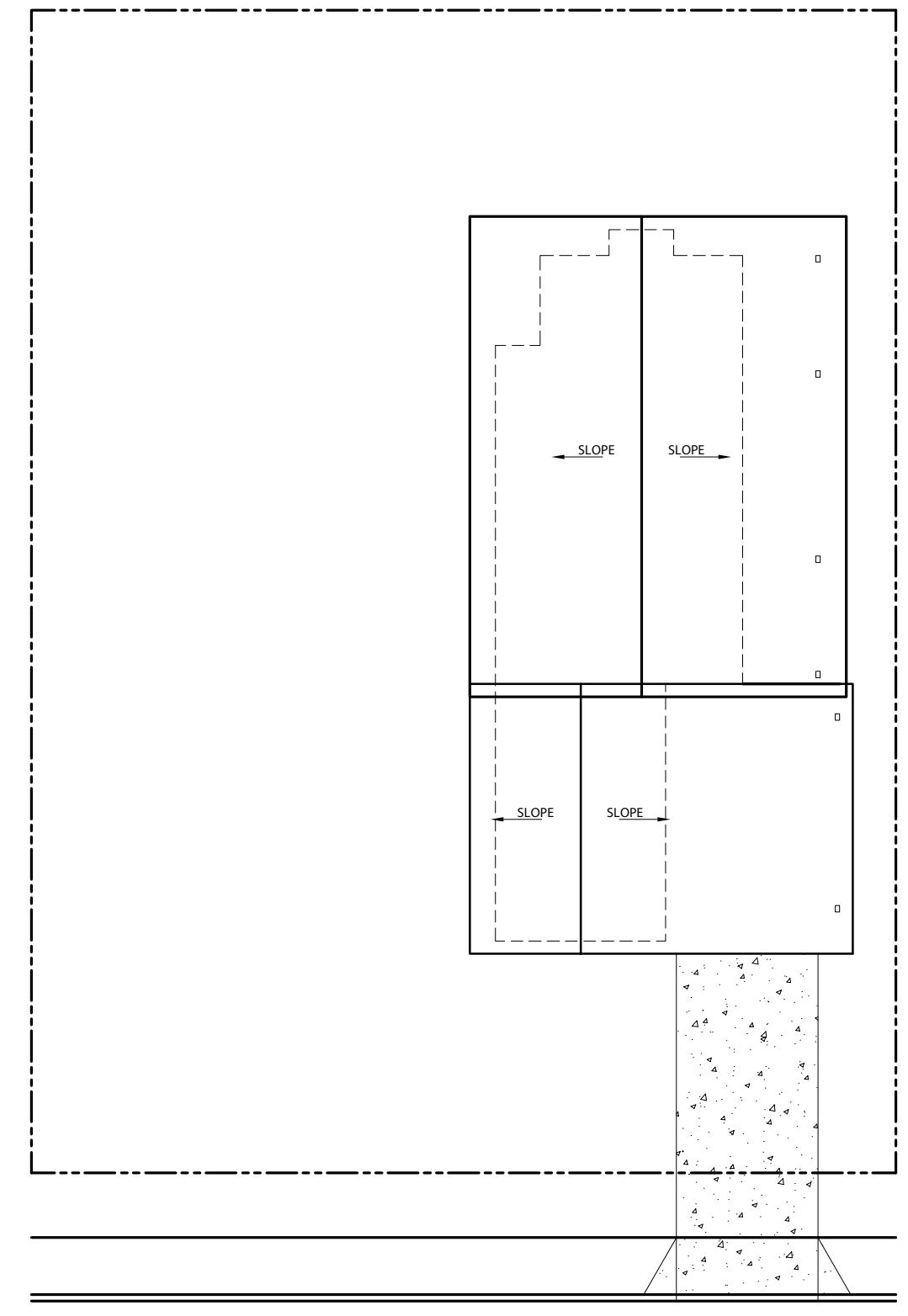
PROPOSED ROOF

**PROPOSED ROOF LINE**  
SCALE: 1/8" = 1'-0"



EXISTING FOOTPRINT

**EXISTING SITE PLAN**  
SCALE: N.T.S.

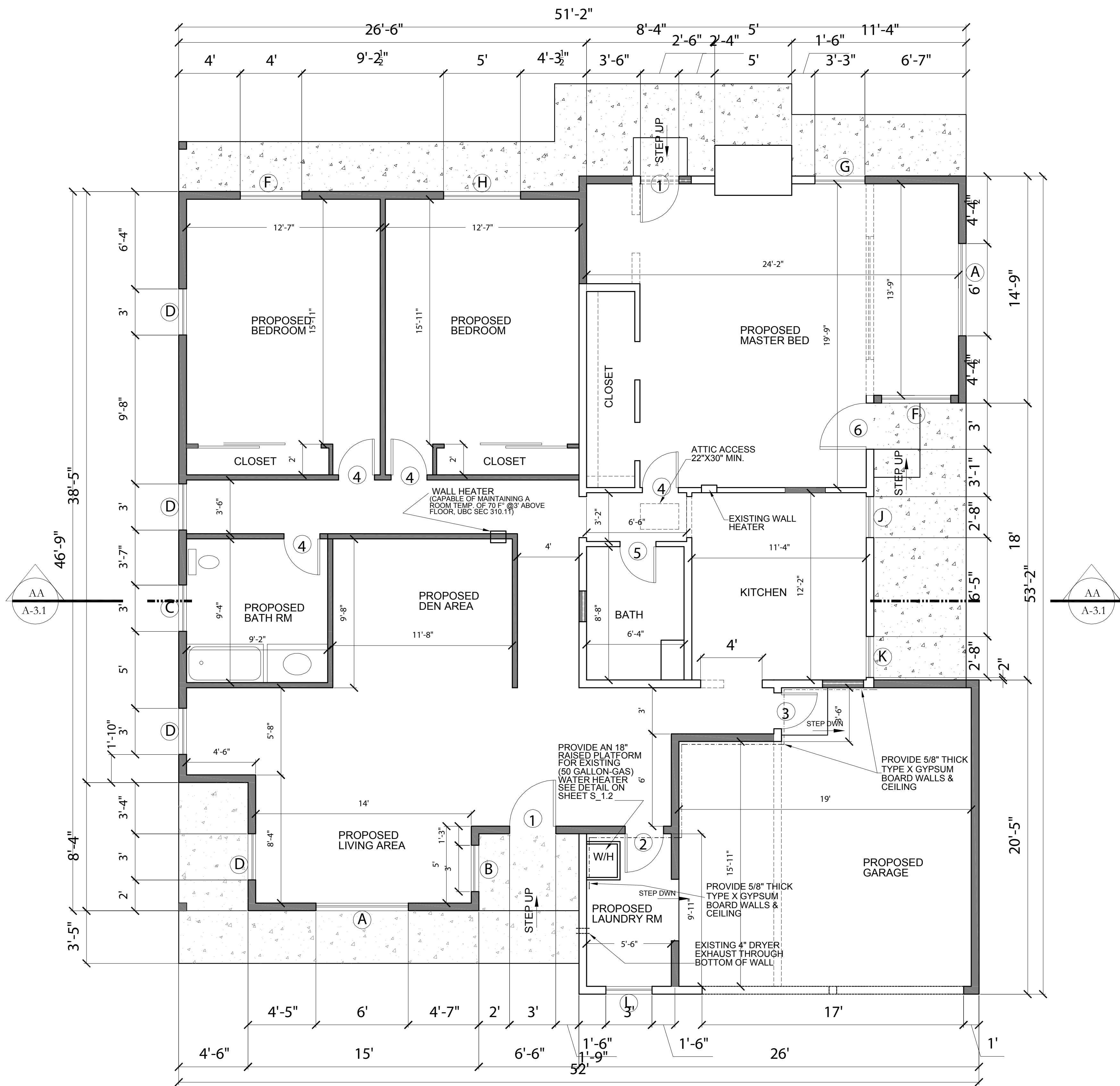


EXISTING ROOF

**EXISTING ROOF LINE**  
SCALE: N.T.S.

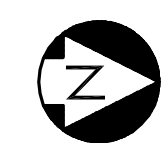
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FIRST FLOOR PLAN

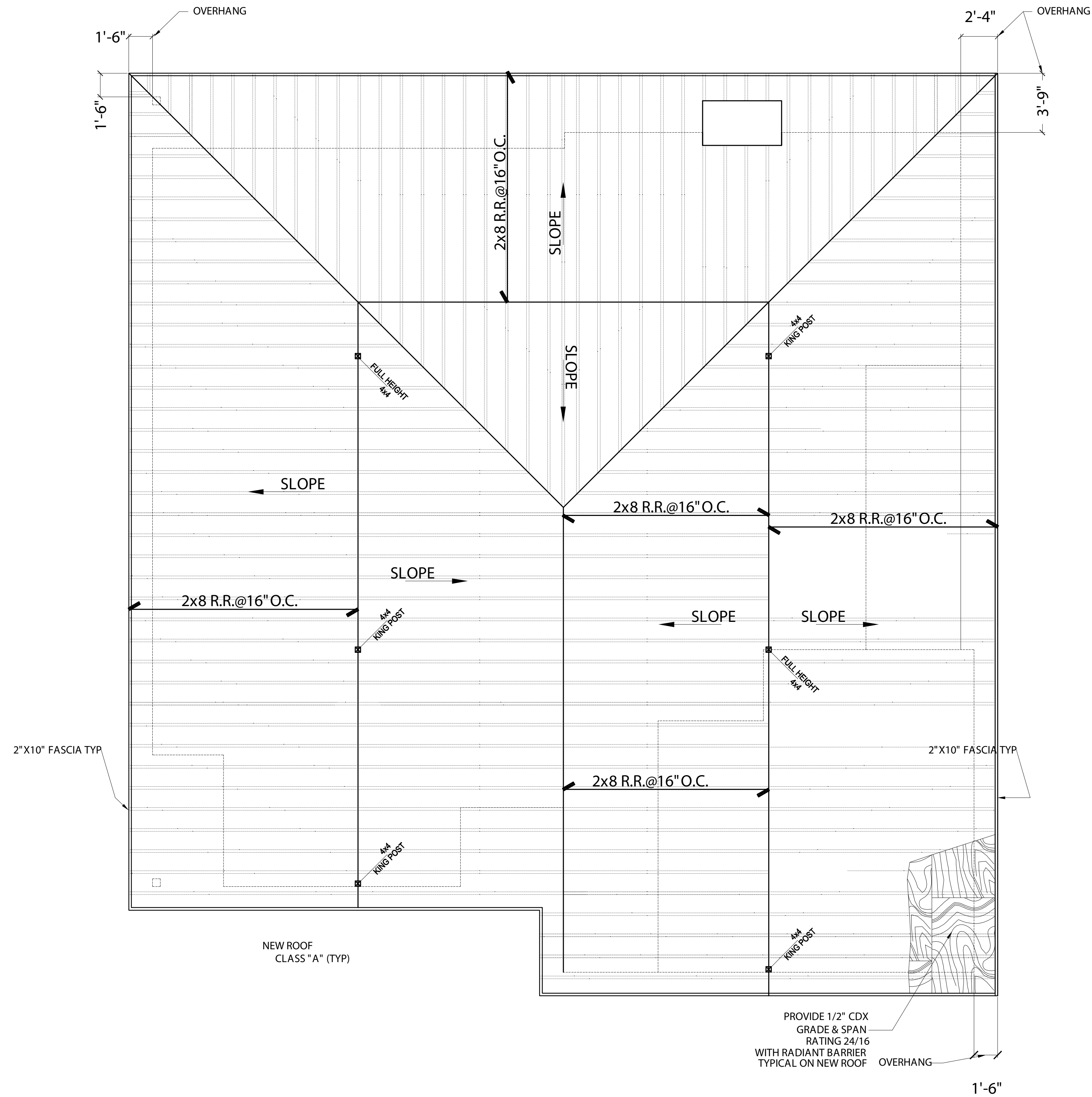
SCALE: 1/4" = 1'-0"



- NEW WALL
- EXISTING WALL
- DEMO/REMOVE

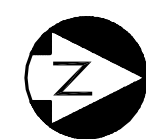
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ROOF PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN NOTES

1. CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF ALL ROOF AND EQUIPMENT PLATFORMS WITH MECHANICAL AND PLUMBING CONTRACTOR.
2. CONTRACTOR SHALL CONFIRM THAT ALL ROOF AREAS ARE PROVIDED WITH POSITIVE DRAINAGE PRIOR TO SHEATHING. ALL ROOF DRAINS SHALL BE LOCATED AT THE LOWEST POINT OF THE ROOF TAKING INTO CONSIDERATION THE CAMBER OF BEAMS AND DEFLECTION OF CANTILIVERS.
3. ROOF CONTRACTOR SHALL PROVIDE A CERTIFICATE STATING THAT THE ROOFING HAS BEEN APPLIED PER MANUFACTURER'S RECOMMENDATIONS.
4. THE INSTALLATION OF THE ENTIRE ROOF SHALL CONFORM TO CHAPTER 32 OF L.A.B.C.
5. ASPHALT SHINGLE ROOFING SHALL HAVE A CLASS 'A' FIRE RATING.
6. ALL ROOF ELEVATIONS ARE GIVEN FROM THE TOP OF THE INTERIOR FINISHED FLOOR SLAB TO TOP OF PLYWOOD ROOF SHEATHING.
7. ATTIC SPACES SHALL BE VENTED IN ACCORDANCE WITH THE BUILDING CODE. SEE NOTE
8. ALL ROOF FLASHING TO BE 26 GAUGE GALVANIZED IRON AND PAINTED TO MATCH ROOFING COLORS, UNLESS OTHERWISE NOTED.
9. ALL OPENINGS AT ROOF LARGER THAN 8" X 8" SHALL BE PROTECTED WITH BURGLAR BARS PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. SPACING OF BARS SHALL NOT EXCEED 4" O.C.
10. PROVIDE METAL VENTS WITH BIRD SCREENS AT LOCATIONS SHOWN ON ELEVATIONS. PROVIDE BLOCKING AND CONTINUOUS CAULKING ALL AROUND. PAINT TO MATCH ADJACENT SURFACE.
11. DUCT ALL ROOF EXHAUST VENTS/FANS TO THEIR RESPECTIVE OPENINGS IN ROOM BELOW.

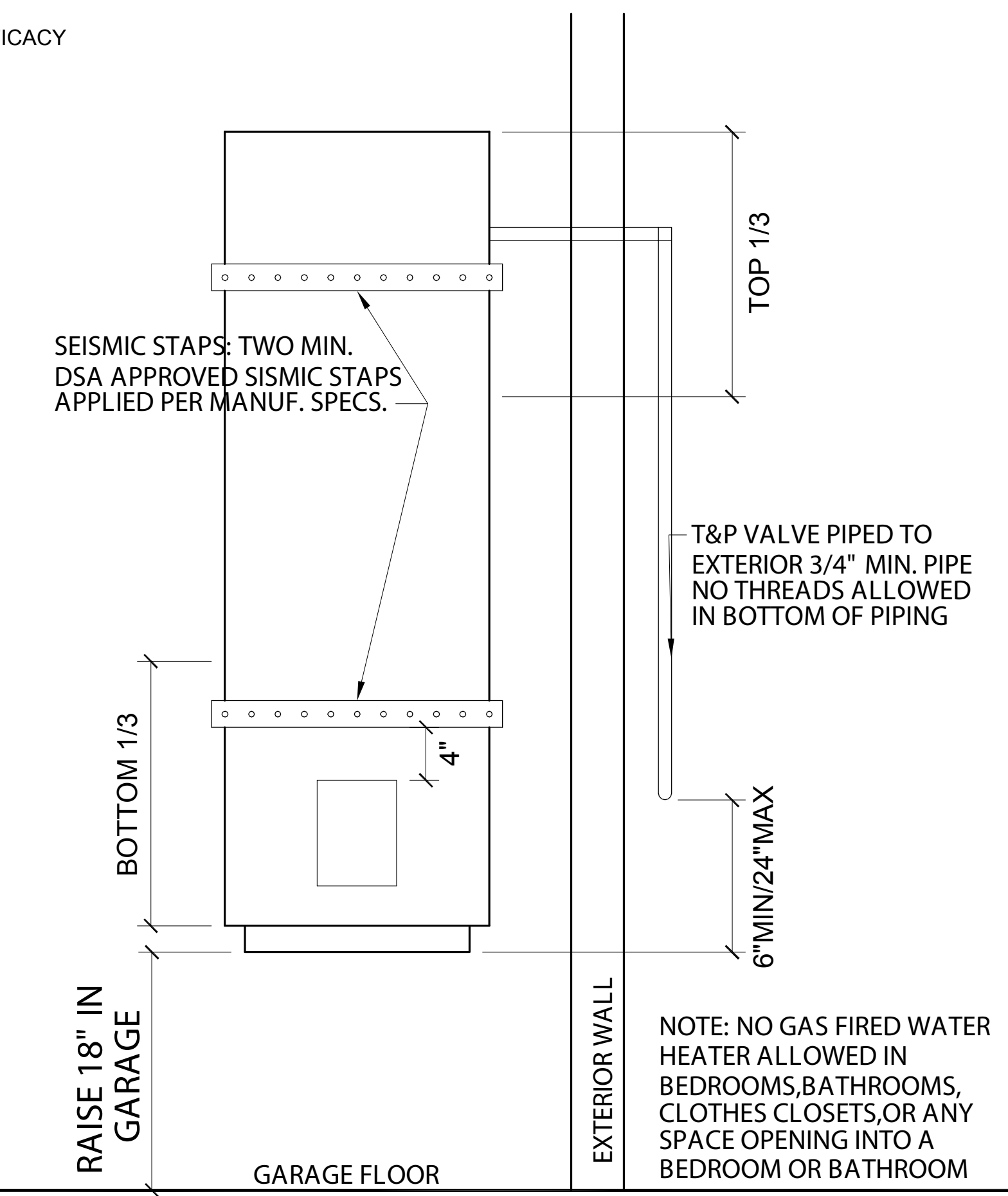
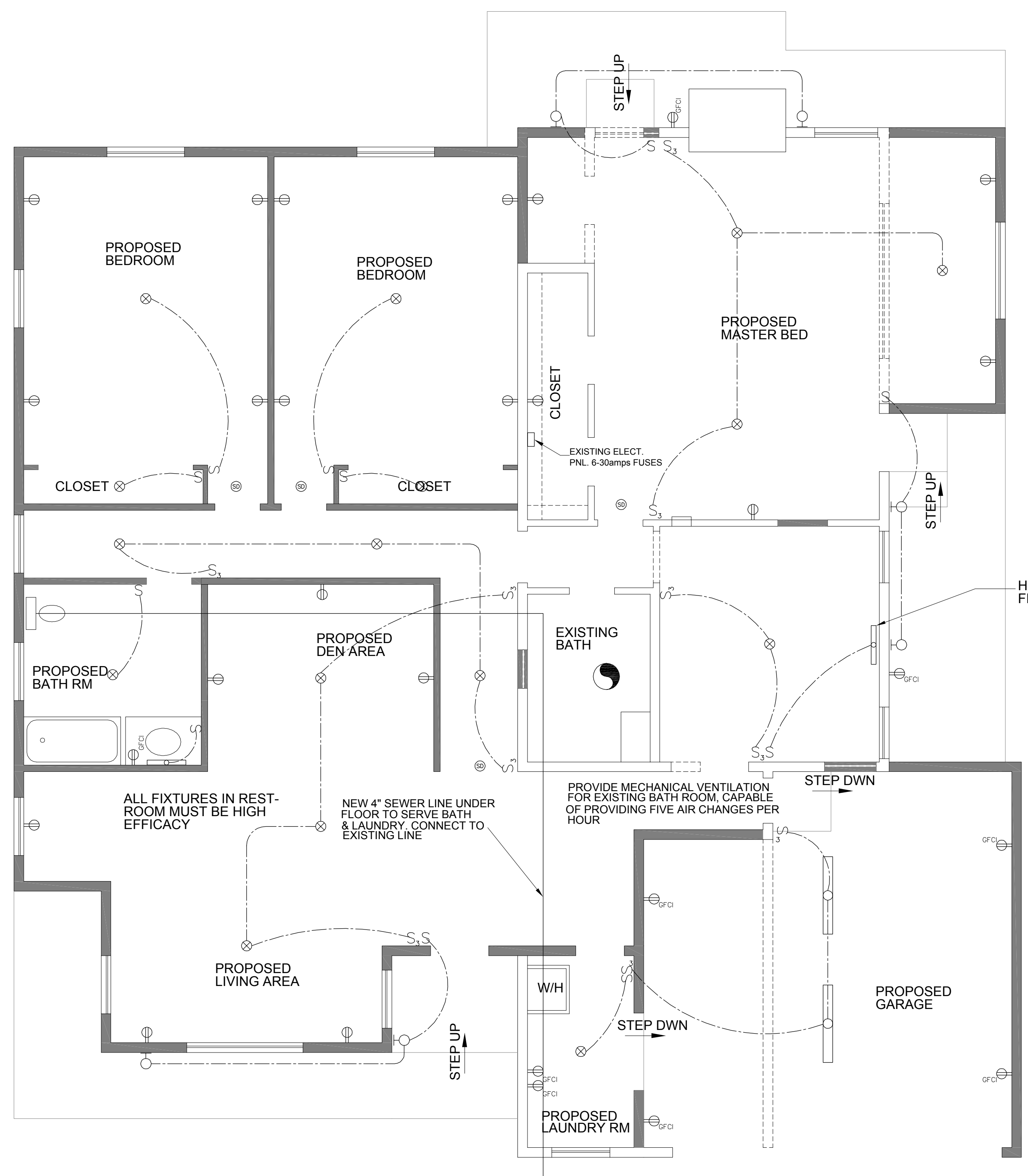
UBC SEC. 1505: THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED  
 NEW ATTIC SPACE 2102 S.F.  
 2102 S.F./150=14 S.F. OF NATURAL VENT AREA. SEE ELEVATIONS FOR LOCATION

SHEET NO:

A\_1.3

NOTE:  
THE FOLLOWING MUST COMPLY FOR ENERGY RESIDENTIAL REQUIREMENTS

- IN THE KITCHEN AT LEAST ONE-HALF OF THE WATTAGE RATING OF THE FIXTURES MUST BE HIGH EFFICACY WITH NON-HIGH EFFICACY FIXTURES SWITCHED SEPARATELY. NOTE: APPROXIMATELY 3/4 OF THE FIXTURES WILL BE REQUIRED TO BE OF THE HIGH EFFICACY VARIETY
- IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS ALL FIXTURES MUST BE HIGH EFFICACY STYLE OR BE CONTROLLED BY A MANUALLY-ON OCCUPANCY SENSOR
- ALL OTHER ROOMS REQUIRE ANY INSTALLED FIXTURES TO BE HIGH EFFICACY OR BE CONTROLLED BY A MANUALLY-ON OCCUPANCY SENSOR OR DIMMER (CLOSETS UNDER 70 S.F. ARE EXEMPT)
- OUTDOOR LIGHTING FIXTURES ARE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A COMBINATION PHOTOCONTROL/ MOTION SENSOR



**PLUMBING NOTES**

- DRAINAGE PIPING SHALL BE PROVIDED WITH APPROVED IN-LET FITTINGS FOR FIXTURE CONNECTIONS, CORRECTLY LOCATED ACCORDING TO THE SIZE AND TYPE OF FIXTURE PROPOSED TO BE CONNECTED CPC 704.1
- THE MINIMUM SIZES OF VERTICAL/HORIZONTAL DRAINAGE PIPING SHALL BE DETERMINED FROM THE TOTAL OF ALL FIXTURE UNITS CONNECTED THERETO...CPC 703.1

**PLUMBING LEGEND**

- ⊕ HOSE BIB
- ⌒ ELBOW DOWN
- ⌒ 90° PIPE ELBOW
- HW-HW HOT WATER PIPE
- WATER PIPE
- 4" SEWER LINE

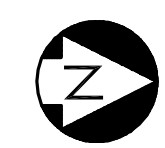
**ELECTRICAL LEGEND**

- ⊗ CEILING LIGHT
- S LIGHT SWITCH
- S<sub>3</sub> LIGHT 3 WAY SWITCH
- ⊗ SMOKE DETECTOR
- ⊕ RECEPTACLE OUTLET
- ⊕ WF WATER PROOF RECEPTACLE OUTLET
- ELECTRICAL CONDUIT
- FLOURESCENT LIGHT (HIGH EFFICACY FIXTURE)

**ELECTRICAL NOTES**

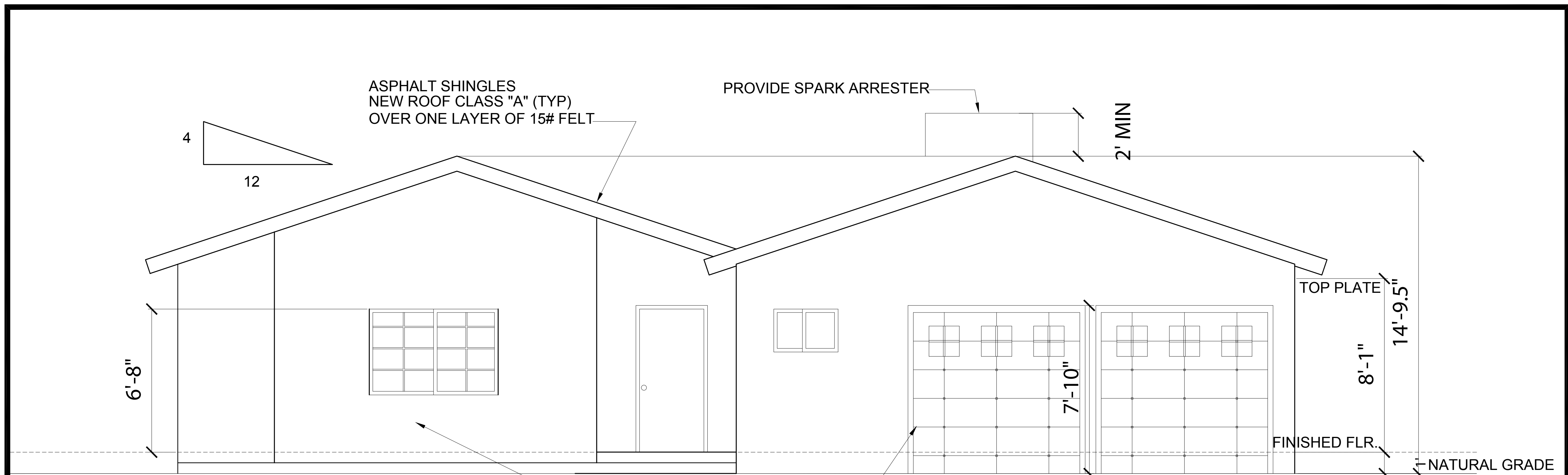
- BRANCH CIRCUITS FOR LIGHTING AND APPLIANCES, INCLUDING MOTOR-OPERATED APPLIANCES SHALL BE PROVIDED TO SUPPLY THE LOADS COMPUTED IN ACCORDANCE WITH SECTION 220-3 OF THE CEC.
- RECEPTACLE OUTLETS IN BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER PER CEC ARTICLE 210-12
- IN ADDITION TO THE NUMBER OF CIRCUITS REQUIRED BY CODE, AT LEAST ONE 20 AMPS CIRCUIT SHALL BE PROVIDED TO SUPPLY THE BATHROOM RECEPTACLE OUTLETS
- ALL OUTLET LOCATIONS SHALL COMPLY WITH NEC-ART 210-52
- ALL 125-VOLT, SINGLE PHASE 15-20 AMP RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTDOORS, KITCHEN COUNTERS, AND WET BAR SINKS

UTILITIES PLAN  
SCALE:1/4"=1'-0"



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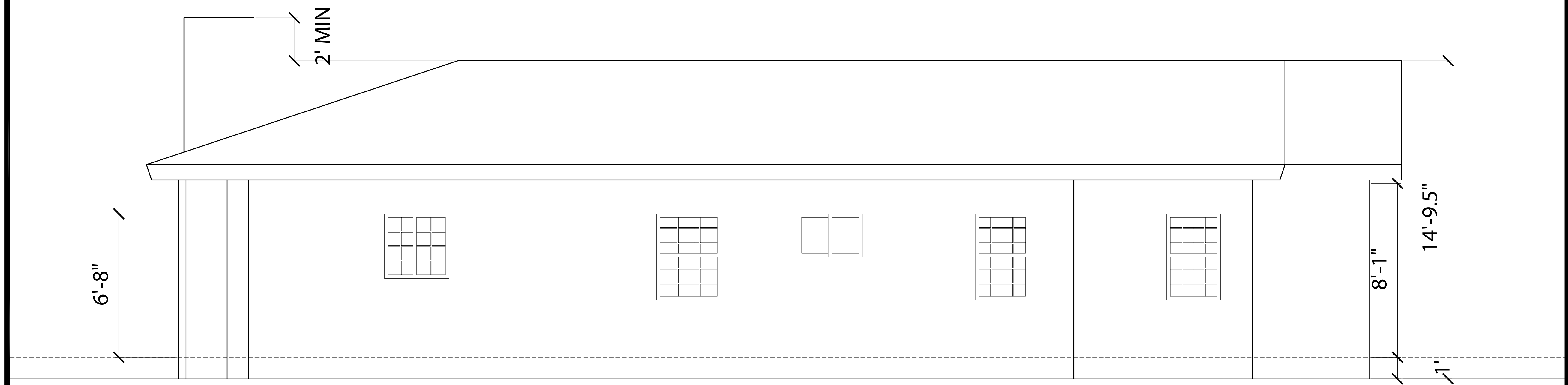
A\_1.6



EAST ELEVATION

SCALE: 3/8"=1'-0"

NEW STUCCO OVER 2 LAYERS OF WATERPROOF GRADE D PAPER, BACKED MTL. LATH OVER 1/2" SHEARWALL THROUGHOUT

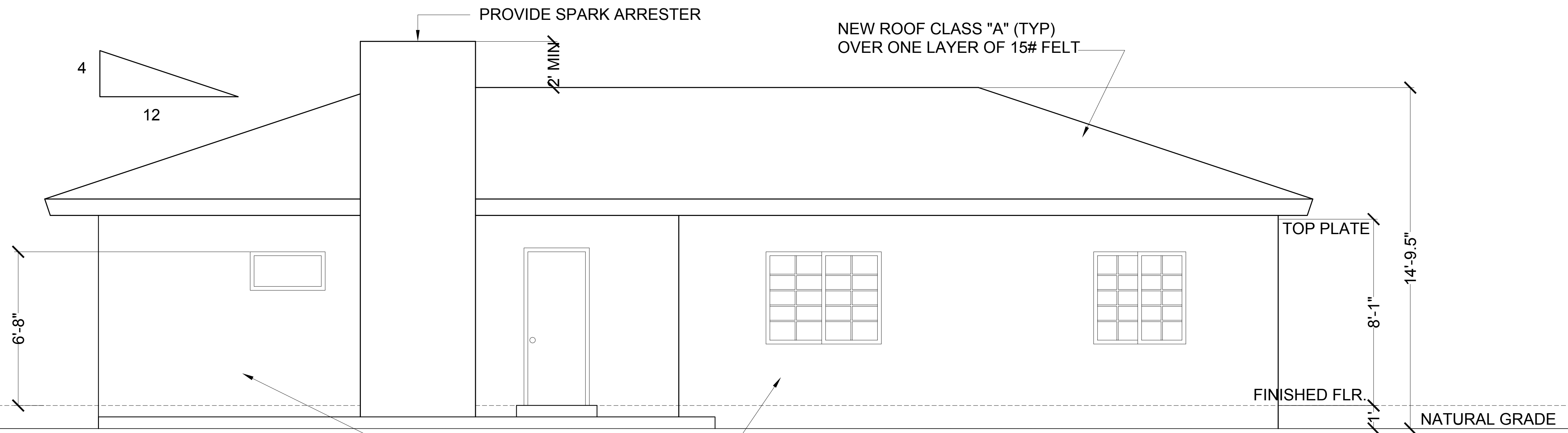


SOUTH ELEVATION

SCALE: 3/8"=1'-0"

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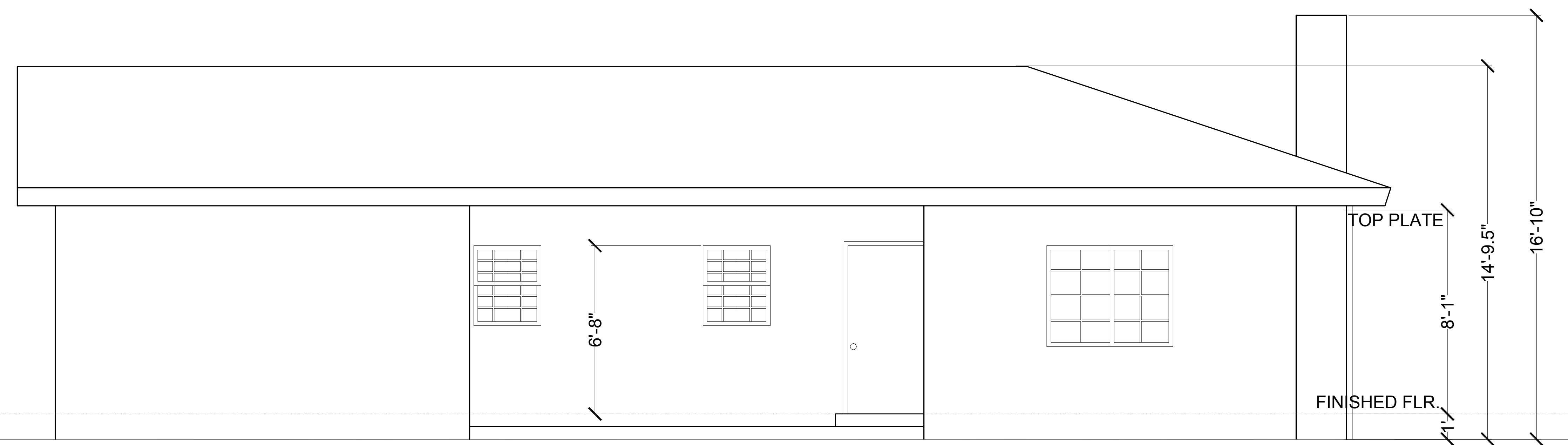
A\_2.1



SOUTH ELEVATION

SCALE: 3/8"=1'-0"

NEW STUCCO OVER 2 LAYERS OF WATERPROOF GRADE D PAPER, BACKED MTL. LATH OVER 1/2" SHEARWALL THROUGHOUT



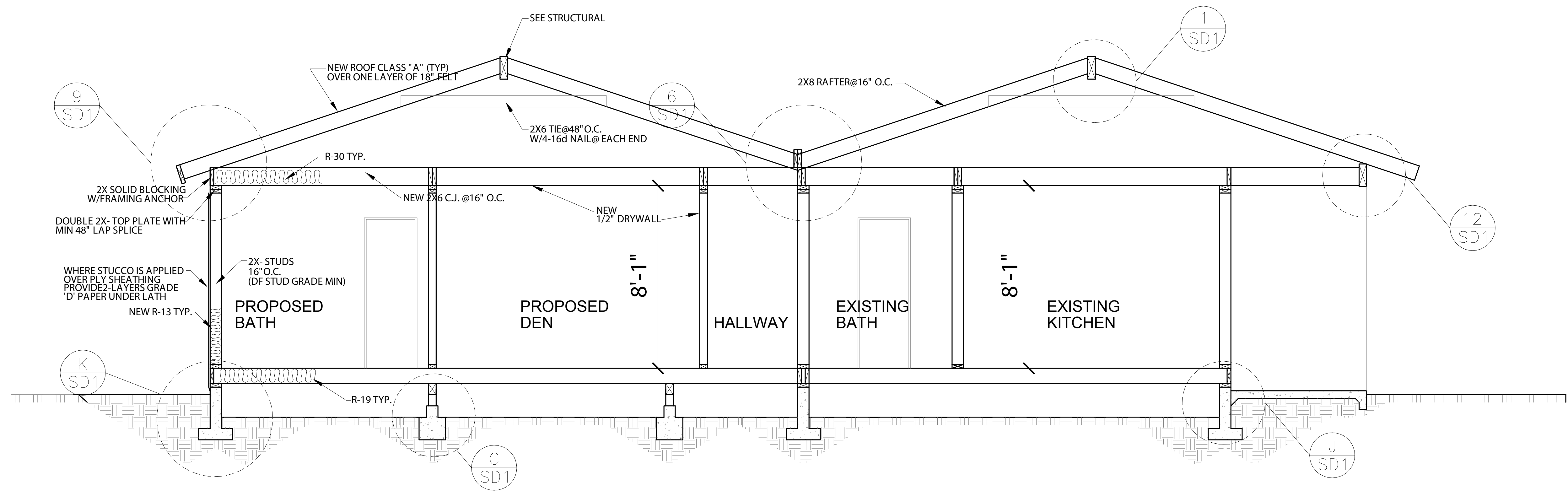
NORTH ELEVATION

SCALE: 3/8"=1'-0"

SHEET NO:

A\_2.2





**SECTION AA**  
 SCALE: 3/8"=1'-0"

SHEET NO:

A\_3.1