

# NEW GARAGE AND ACCESSORY DWELLING UNIT

436 E Covina Blvd. Covina, CA 91722

VICINITY MAP

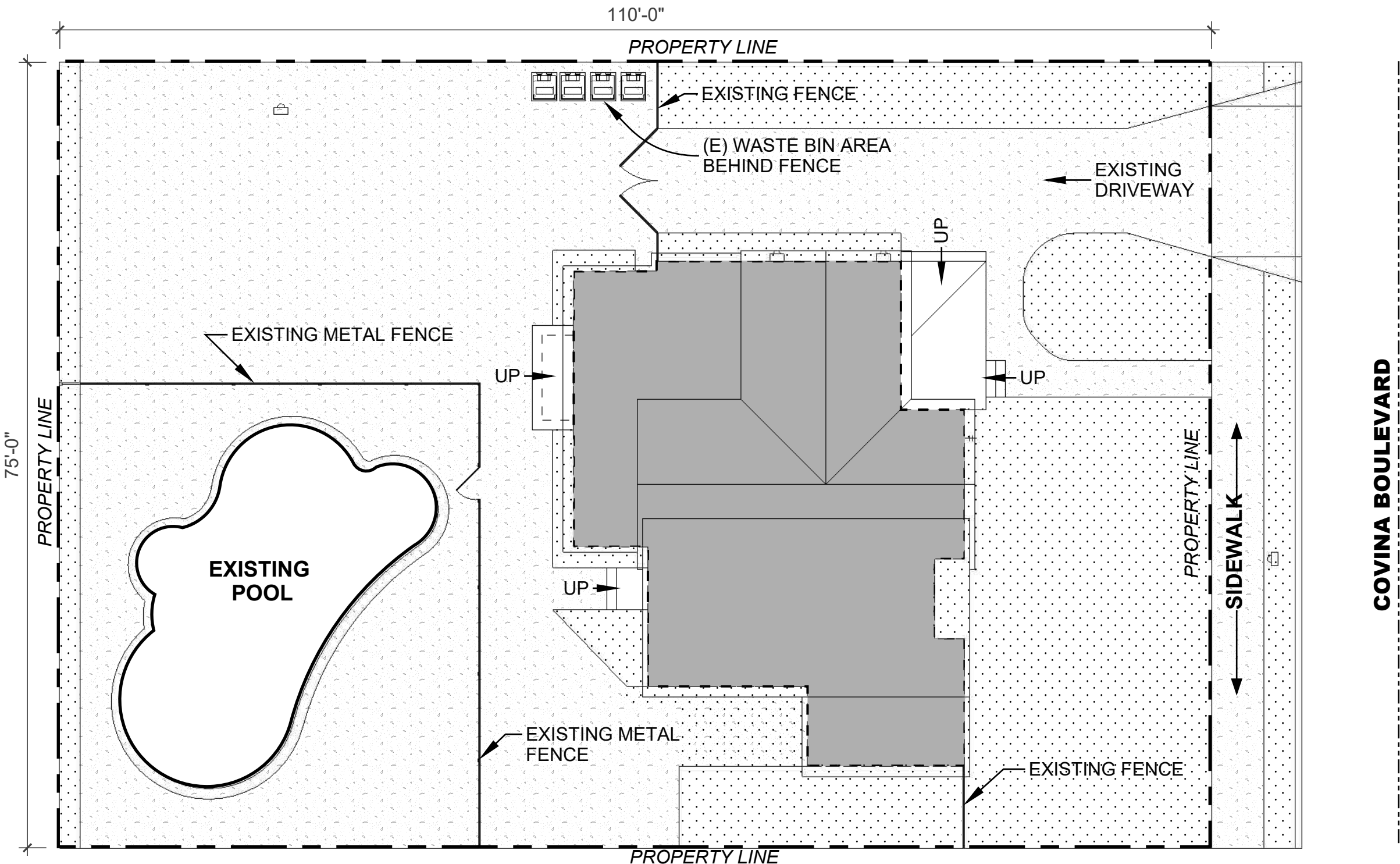
**APPLICABLE CODES:**  
2019 CALIFORNIA BUILDING CODE (CBC)  
2019 CALIFORNIA RESIDENTIAL CODE (CRC)  
2019 CALIFORNIA ADMINISTRATIVE CODE (CAC)  
2019 CALIFORNIA MECHANICAL CODE (CMC)  
2019 CALIFORNIA ELECTRICAL CODE (CEC)  
2019 CALIFORNIA PLUMBING CODE (CPC)  
2020 L.A. COUNTY FIRE CODE  
2019 CALIFORNIA FIRE CODE (CFC)  
2019 CALIFORNIA GREEN STANDARDS BUILDING CODE (CGBS)  
2019 CALIFORNIA ENERGY EFFICIENCY CODE (CEEC)  
2019 CALIFORNIA HISTORICAL BUILDING CODE (CHBS)  
CITY OF COVINA MUNICIPAL CODE  
TITLE 24

## SHEET INDEX

- T1.0 COVER SHEET & EXISTING PLOT PLAN
- A1.0 EXISTING - AS BUILT
- A1.1 PROPOSED PLOT PLAN
- A1.2 PROPOSED FLOOR PLANS
- A1.3 PROPOSED UTILITY PLANS
- A1.4 STAIRS ENLARGE PLANS
- A2.1 PROPOSED ELEVATIONS
- A2.2 PROPOSED ELEVATIONS
- A3.1 PROPOSED ROOF AND SECTION
- A4.0 DETAILS
- A4.1 DETAILS
- T24-1 TITLE 24 COMPLIANCE
- T24-2 TITLE 24 COMPLIANCE
- S-1 STRUCTURAL NOTES
- S-2 STRUCTURAL FRAMING AND FOUNDATION PLANS
- SSW2 FRAMING DETAILS
- C-1 DRAINAGE PLAN NOTES
- C-2 DRAINAGE PLAN
- C-3 EROSION CONTROL PLAN

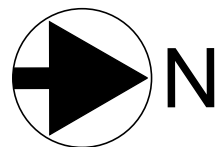
## GENERAL NOTES:

- THE OWNER/CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH ANY CONSTRUCTION WORK.
- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS ARE TO FACE STUDS, CONCRETE BLOCK, OR CENTER LINE OF STUDS.
- ALL WORK, CONSTRUCTION, AND MATERIALS SHALL COMPLY WITH ALL PROVISION OF THE BUILDING CODE AND WITH OTHER RULES, COVERING THE PLACE OF THE BUILDING PROJECT. LOCAL BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE OWNER OF ANY DISCREPANCIES OR CONFLICTS BETWEEN REQUIREMENTS OF THE CODE AND DRAWINGS.
- REFERENCE TO ANY DETAILS OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWING. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWING AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED BY THE OWNER PRIOR TO THE INSTALLATION OF ANY WORK.
- THE OWNER IS RESPONSIBLE FOR ALL WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE UNLESS OTHERWISE SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE OWNER SHALL SUPERVISE AND DIRECT THE WORK AND HE/ SHE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, TO ACHIEVED THE FINISHED STRUCTURE.
- MAINTAIN SANITARY TOILET FACILITIES DURING CONSTRUCTION AS REQUIRED BY APPLICABLE REGULATIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR COORDINATING HIS WORK AND/OR EQUIPMENT SUPPLIED BY THE CONTRACTOR.
- THE DESIGNER/DRAFTER WILL NOT BE RESPONSIBLE FOR ANY ACTION TAKEN BY ANYONE ON THE PROJECT IF THAT PERSON IS KNOWLEDGEABLE OF ANY DISCREPANCIES, OMISSIONS, OR AMBIGUITY IN THE DRAWINGS OR SPECIFICATIONS UNTIL THE DESIGNER/DRAFTER HAS BEEN NOTIFIED, HAS CORRECTED THE DISCREPANCY OR MORE CLEARLY EXPLAINED THE CONTENTS OF THE DRAWINGS OR SPECIFICATIONS.
- GLAZING MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS.
- FIXED WINDOWS SHALL BE SEALED TO LIMIT AIR INFILTRATION. ALL DOORS SHALL LIMIT AIR LEAKAGE AROUND THEIR PERIMETER WHEN IN A CLOSE POSITION PROVIDE SEAL OR ASTRAGAL AT THE HEAD, SILL AND WALL JAMBS. OPEN EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALL AND ROOF, BETWEEN PANELS AND AT PENETRATIONS OF UTILITIES THRU ENVELOPE SHALL BE SEALED, CAULK OR WEATHER STRIPPED TO LIMIT AIR LEAKAGE.
- IF REQUIRED BY THE BUILDING INSPECTOR, A PROTECTION FENCE SHALL BE CONSTRUCTED AND MAINTAINED CONFORMING TO THE REQUIREMENTS OF THE THE BUILDING CODE.
- CONTINUOUS INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED FOR ALL CONCRETE DESIGNED W/ F'C GREATER THAN 2500 PSI. AT GRADE BEAM CONCRETE.
- CONTINUOUS INSPECTION BY A DEPUTY INSPECTOR REQUIRED FOR HIGH STRENGTH BOLTS.
- ALL INTERIOR FLOORING, COLORS, AND ALL OTHER DECORATIVE MATERIAL TO BE DETERMINED BY OWNER.
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE DONE PER CITY STANDARDS.



## EXISTING PLOT PLAN

3/32" = 1'-0"



## STRUCTURAL NOTES:

- THE PROJECT WILL REQUIRE STRUCTURAL OBSERVATION BY THE ENGINEER RESPONSIBLE FOR THE STRUCTURAL DESIGN. STRUCTURAL OBSERVATION MEANS THE VISUAL OBSERVATION OF THE STRUCTURAL SYSTEM, FOR GENERAL CONFORMANCE WITH THE APPROVED PLAN AND AND SPECIFICATIONS AT SIGNIFICAN CONSTRUCTION STAGES AND AT COMPLETION OF THE STRUCTURAL SYSTEM.

## ROOF NOTES:

- CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF ALL ROOF AND EQUIPMENT PLATFORMS WITH MECHANICAL AND PLUMBING CONTRACTOR.
- CONTRACTOR SHALL CONFIRM THAT ALL ROOF AREAS ARE PROVIDED WITH POSITIVE DRAINAGE PRIOR TO SHEATHING. ALL ROOF DRAINS SHALL BE LOCATED AT THE LOWEST POINT OF THE ROOF TAKING INTO CONSIDERATION THE CAMBER OF BEAMS AND DEFLECTION OF CANTILIVERS.
- ROOF CONTRACTOR SHALL PROVIDE A CERTIFICATE STATING THAT THE ROOFING HAS BEEN APPLIED PER MANUFACTURER'S RECOMMENDATIONS.
- THE INSTALLATION OF THE ENTIRE ROOF SHALL CONFORM TO CHAPTER 32 OF L.A.B.C.
- LIGHT WEIGHT TILE ROOFING SHALL HAVE A CLASS 'A' FIRE RATING.
- ALL ROOF ELEVATIONS ARE GIVEN FROM THE TOP OF THE INTERIOR FINISHED FLOOR SLAB TO TOP OF PLYWOOD ROOF SHEATHING.
- ATTIC SPACES SHALL BE VENTED IN ACCORDANCE WITH THE BUILDING CODE. (SEE ELEVATIONS NOTES)
- ALL ROOF FLASHING TO BE 26 GAUGE GALVANIZED IRON AND PAINTED TO MATCH ROOFING COLORS, UNLESS OTHERWISE NOTED.
- ALL OPENINGS AT ROOF LARGER THAN 8"X8" SHALL BE PROTECTED WITH BURGLAR BARS PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. SPACING OF BARS SHALL NOT EXCEED 4" O.C.
- PROVIDE METAL VENTS WITH BIRD SCREENS AT LOCATIONS SHOWN ON ELEVATIONS. PROVIDE BLOCKING AND CONTINUOUS CAULKING ALL AROUND. PAINT TO MATCH ADJACENT SURFACE. ( SEE ELEVATIONS)
- DUCT ALL ROOF EXHAUST VENTS/FANS TO THEIR RESPECTIVE OPENINGS IN ROOM BELOW
- A MINIMUM OF 1" OF AIRSPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEA THING AT THE VENT LOCATION, PER I CRC R806.3.

- DESTRUCTIVE REMOVAL OF WORK PERFORMED WITHOUT PERMITS MAY BE REQUIRED FOR INSPECTION(S)
- DEPUTY INSPECTORS ARE REQUIRED TO BE REGISTERED WITH THE CITY OF COVINA

EACH CONTRACTOR RESPONSIBLE FOR THE CONSTRUCTION OF A MAIN WIND OR SEISMIC FORCE-RESISTING COMPONENT LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICAL AND THE OWNER OR THE OWNER'S AUTHORIZED AGENT PRIOR TO THE COMMENCEMENT OF WORK ON THE SYSTEM OR COMPONENT. THE CONTRACTOR'S STATEMENTOR RESPONSIBILITY SHALL CONTAIN ACKNOWLEDGEMENT OF AWARENESS OF THE SPECIAL REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTION (2016 BC 1704.4)

## SEDIMENT CONTROL

- FOR LOTS UNDER ONE ACRE: IF THE CONSTRUCTION TAKES PLACE DURING THE RAINY SEASON BETWEEN NOVEMBER 30 AND APRIL 15, INSTALL A PERIMETER SEDIMENT CONTROL MEASURE SUCH AS A LAYER OF GRAVEL BAGS, FIBER ROLLS OR FILTER LOGS AROUND THE DOWNHILL BOUNDARIES (LOT LINES) OF SITE, UNLESS THE DRAINAGE FLOWS TOWARDS A BLOCK WALL ON THE PROPERTY LINE.

## NPDES NOTE

THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

## GREEN BUILDING STANDARDS NOTES:

- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD. CGBS 4.406.1
- DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENING SHALL BE COVERED DURING CONSTRUCTION. CGBS 4.504.1
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS PER CGBS 4.504.2.1
  - PAINT, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS
  - AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.
  - DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
  - CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
  - 50% OF THE FLOOR AREA RECEIVING RESILIENT FLOORINGS SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
  - PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSIONS STANDARDS.
- FOLLOW TABLES FOR POLLUTION CONTROL LIMITS PER SECTION CGBS 4.504 (TABLES REFERENCE ON A4.1 SHEET)
  - 4.504.4.1 ADHESIVE VOC LIMIT
  - 4.504.4.2 SEALANT VOC LIMIT
  - 4.504.4.3 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS
- CONCRETE SLABS, PROVIDE A VAPOR RETARDER (MIN. 6-MIL THICKNESS) WITH CAPILLARY BREAK CONSISTING OF 4" OF 1/2" OR LARGER CLEAN AGGREGATE TO BE INSTALL AT THE SLAB ON GRADE FOUNDATIONS. CGBS 4.505.2.1

## CODE ANALYSIS

**SCOPE OF WORK:**  
CONSTRUCTION OF A NEW 500 SF DETACHED TWO CAR GARAGE WITH A 520 SF ACCESSORY DWELLING UNIT ABOVE

**OCCUPANCY AND CONSTRUCTION:**  
TYPE OF CONSTRUCTION - **VB**  
OCCUPANCY: R3  
**ALLOWABLE AREA AND HEIGHT:**  
EXISTING BUILDING HEIGHT = NO CHANGE

**EXISTING BUILDING AREA** = 2430 SF (TWO STORIES) NO CHANGE TO EXISTING RESIDENCE  
**PROPOSED DETACHED ADDITION** = **1020 SF**  
GROUND FLOOR GARAGE: 500 SF  
SECOND FLOOR ADU: 520 SF

OVERALL LOT AREA = 8250 SF  
EXISTING LOT COVERAGE: 1420 SF/8250 SF= 17.5% LOT COVERAGE  
**PROPOSED LOT COVERAGE:**  
EXISTING RESIDENCE 1420 SF  
PROPOSED (GARAGE) 500 SF  
TOTAL **1920 SF**  
1920 SF/8250 SF = 24% LOT COVERAGE

**NOTES:** NO EXISTING COVERED PARKING  
NO FIRE SPRINKLERS REQUIRED

## DEFERRED SUBMITALS

DEFERRED SUBMITAL ITEMS WILL BE REQUIRED TO BE SUBMITTED, APPROVED AND PERMITTED PRIOR TO THE FRAMING INSPECTION. LIFE SAFETY ITEMS ARE NOT APPROVED FOR DEFERRED SUBMITTAL.  
**DEFERRED SUBMITAL ITEMS:**  
-REQUIRED PV SYSTEM APPROVAL  
-SOILS REPORT AND GRADING PLANS - PERMIT APPROVAL

PREPARED FOR:

PREPARED BY:

PROJECT

REVISIONS

CITY OF COVINA  
CORRECTIONS: 11/30/2021

SHEET TITLE

COVER SHEET

CADD FILE

SCALE

PROJECT NUMBER

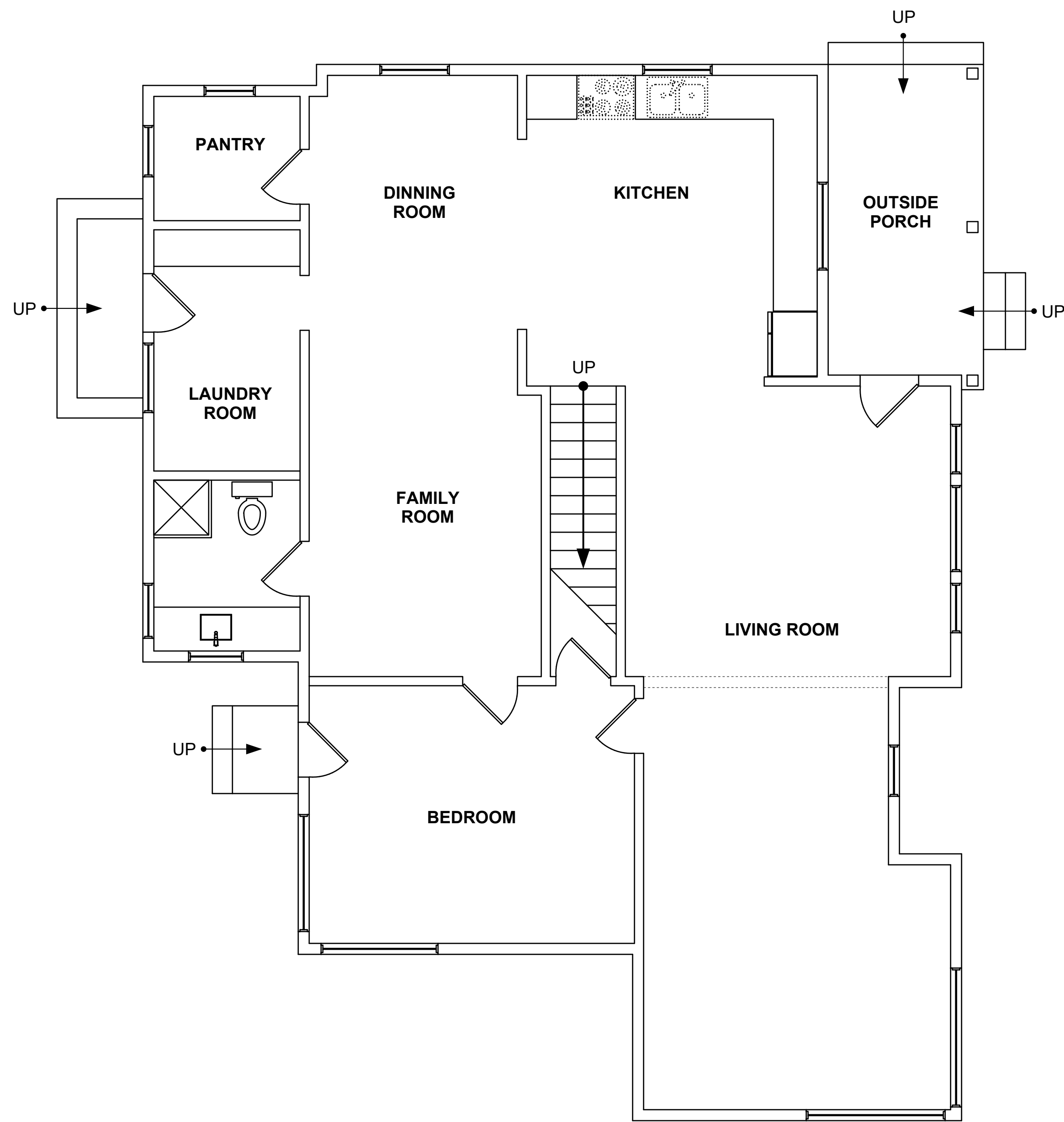
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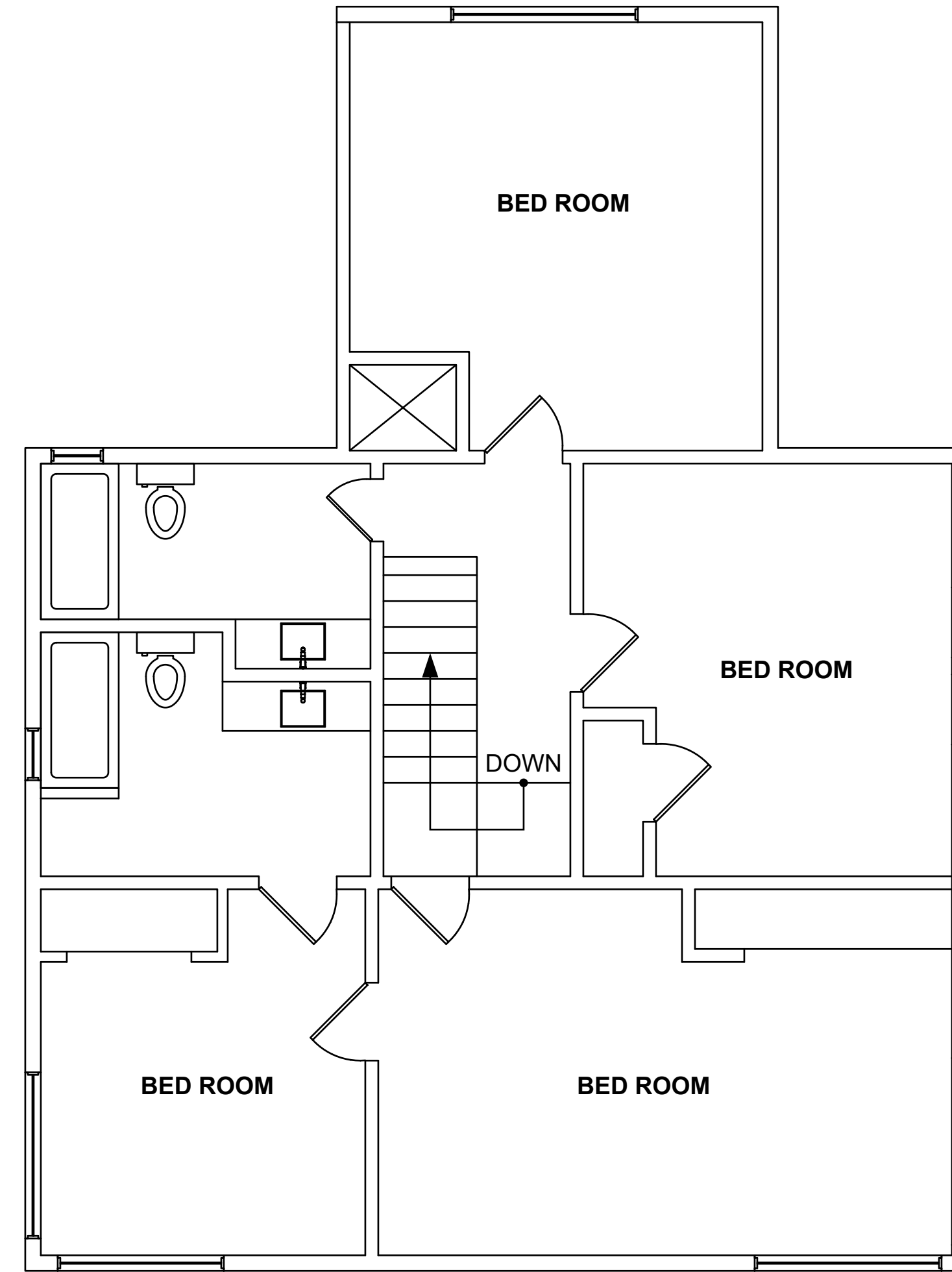
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**GROUND FLOOR PLAN - AS BUILT**  
1/4" = 1'-0" 



**UPPER FLOOR PLAN - AS BUILT**  
1/4" = 1'-0" 



**EXISTING NORTH ELEVATION- AS BUILT**  
1/4" = 1'-0"

PREPARED FOR:

PREPARED BY:

PROJECT

REVISIONS

CITY OF COVINA  
CORRECTIONS: 11/30/2021

SHEET TITLE

AS-BUILT  
EXISTING  
RESIDENCE

CADD FILE

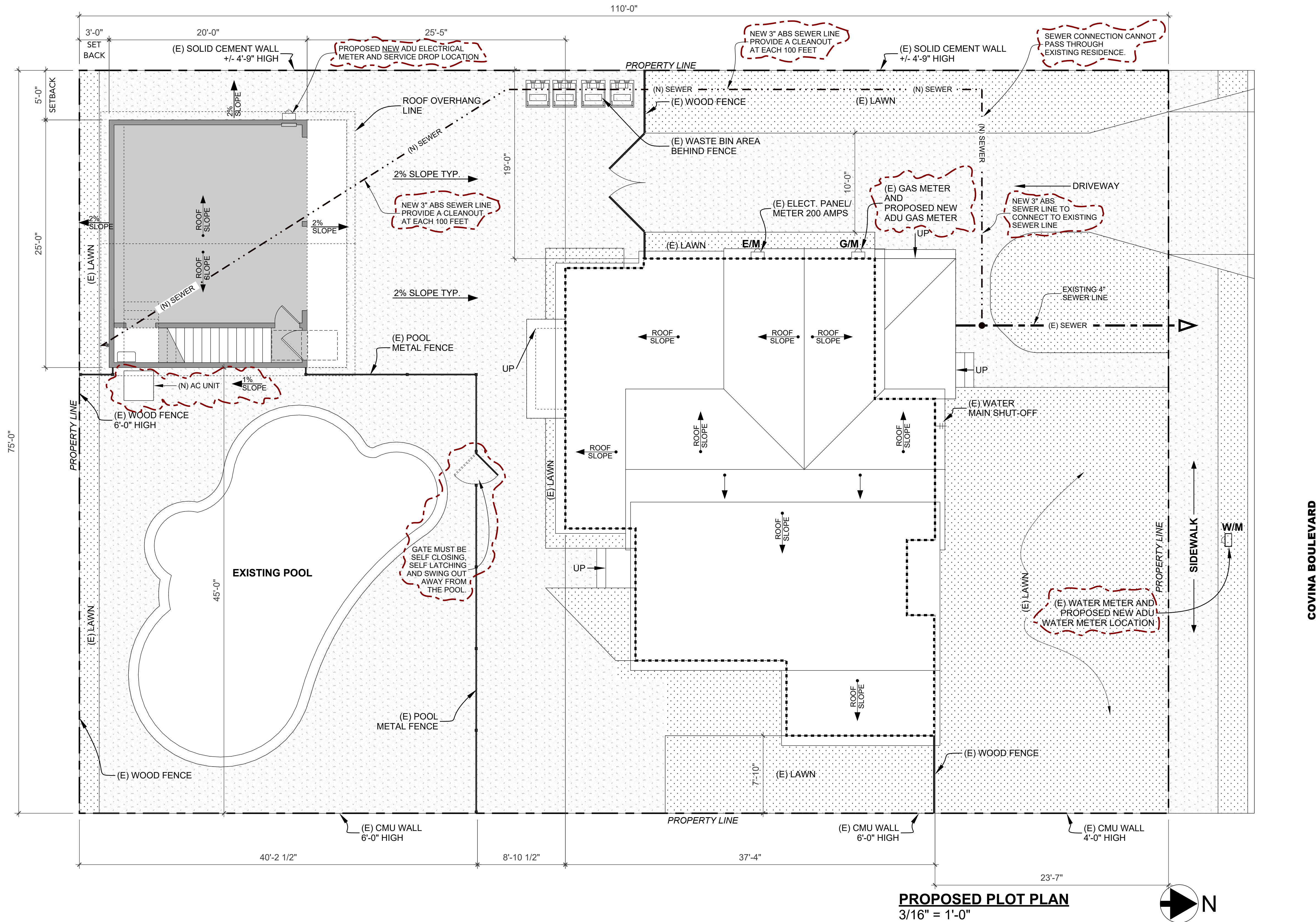
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PROJECT NUMBER

DRAWN BY

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SHEET NUMBER



**NOTES:**  
EXISTING BUILDING FOOTPRINT = 1420 SQ. FT. NO CHANGE TO EXISTING RESIDENCE  
OVERALL LOT AREA = 8250 SF (110' X 75')  
**EXISTING LOT COVERAGE:** 1420 SF/8250 SF= 17.5% LOT COVERAGE

**PROPOSED LOT COVERAGE:**  
EXISTING FOOTPRINT 1420 SF  
PROPOSED FOOTPRINT 500 SF  
TOTAL FOOTPRINT 1920 SF  
1920 SF/8250 SF = 24% LOT COVERAGE

- SITE PLAN NOTES:**
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET GUTTER OR STORM DRAIN SYSTEM.
  - CONCRETE IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NO LESS THAN 6" (5% SLOPE) IN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF BUILDING SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING, PER CRC R401.3  
EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
  - ADDITIONS, REMODELS, OR RENOVATIONS OF A SINGLE FAMILY HOME WITH AN EXISTING POOL REQUIRE THE SUCTION OUTLET OF THE EXISTING POOL, SPA, OR TODDLER POOL TO BE UPGRADED SO AS TO BE EQUIPPED WITH AN APPROVED ANTI-ENTRAPMENT COVER MEETING THE CURRENT STANDARDS OF THE ASTM OR ASME PER SECTION 115920 HSC.
  - HOUSE NUMBER TO BE VISIBLE AND LEGIBLE FROM STREET VIEW. MINIMUM 4" HEIGHT BY 1/2" WIDE. CRC 319

**LEGEND & SYMBOLS**

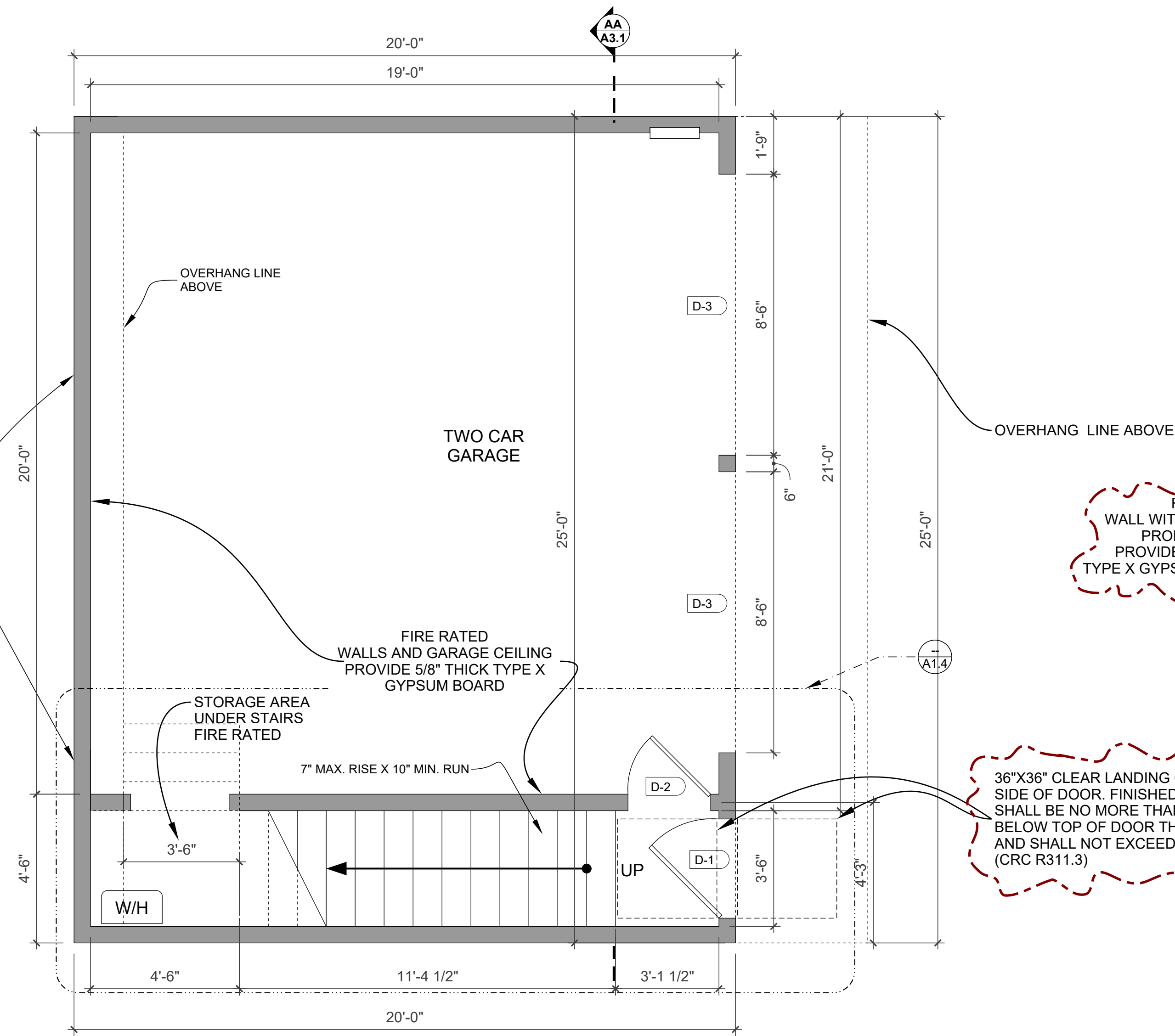
	IMPERVIOUS SURFACE - CONCRETE
	PERVIOUS SURFACE - LAWN/LANDSCAPE

PROPOSED  
SITE PLAN

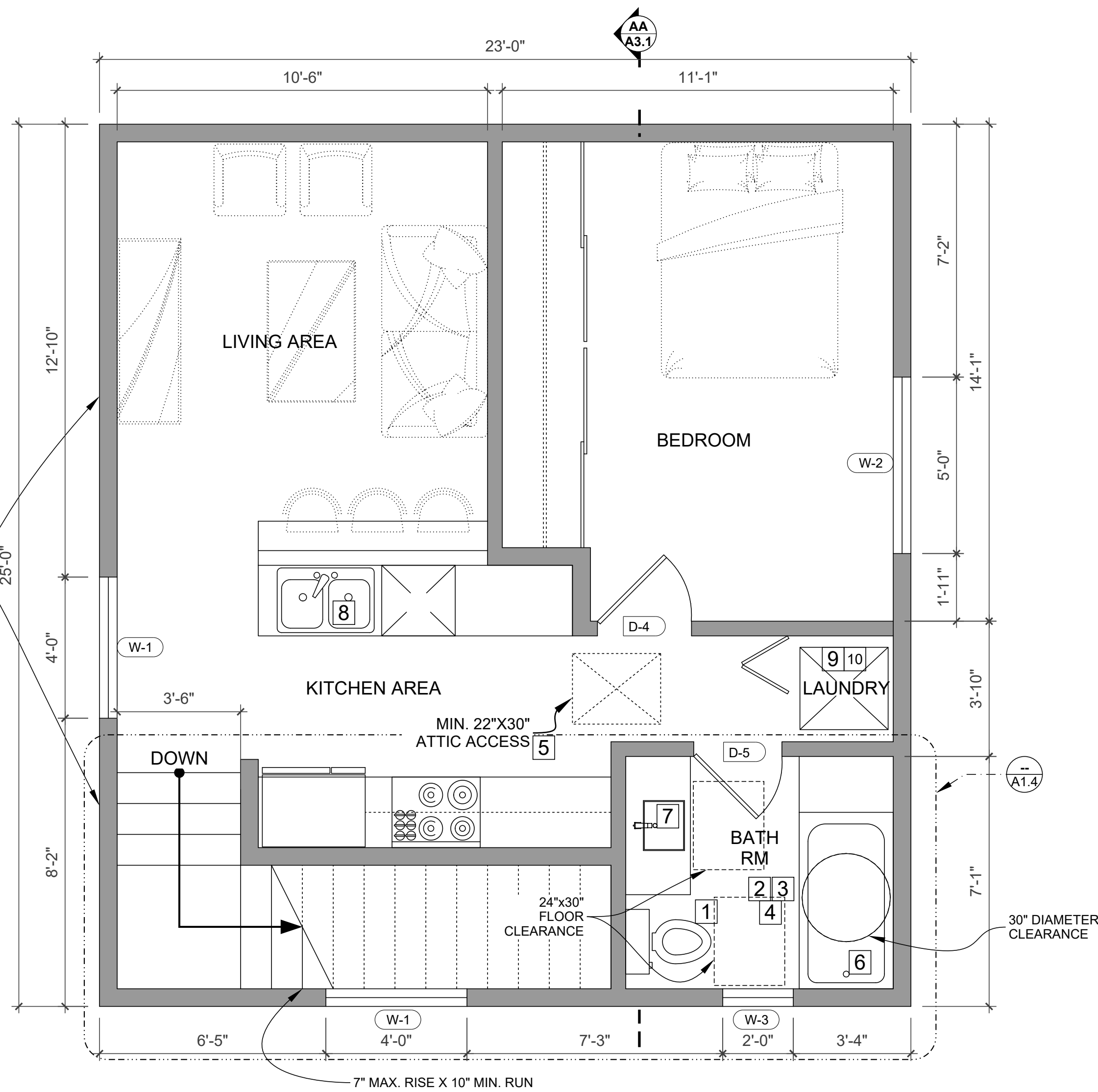
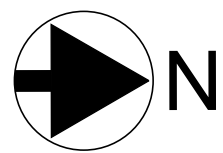
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04/09/22 A1.1

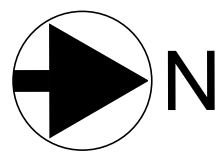




GROUND FLOOR PLAN - GARAGE  
3/8" = 1'-0"



UPPER FLOOR PLAN - ADU  
3/8" = 1'-0"



DOOR SCHEDULE									
MARK	Type Mark	WIDTH	HEIGHT	DOOR MATERIAL	FINISH	FRAME MATERIAL	FRAME FINISH	HARDWARE	FIRE RATING
D1	--	3' 0"	6' 8"	SOLID WOOD	PAINTED	WOOD	PAINTED		
D2	--	2' 6"	6' 8"	SOLID WOOD	PAINTED	WOOD	PAINTED	SELF CLOSING	YES
D3	--	8' 0"	7' 6"	METAL	PAINTED	--	PAINTED		
D4	--	2' 8"	6' 8"	WOOD	PAINTED	WOOD	PAINTED		--
D5	--	2' 6"	6' 8"	WOOD	PAINTED	WOOD	PAINTED		POCKET DOOR

WINDOW SCHEDULE									
MARK	Type Mark	WIDTH	HEIGHT	MATERIAL	FINISH	FRAME MATERIAL	HARDWARE	FIRE RATING	COMMENTS
W1	--	4' 0"	5' 0"	--	PAINTED	VINYL		--	
W2	--	5' 0"	5' 0"	--	PAINTED	VINYL		--	
W3	--	2' 0"	3' 0"	--	PAINTED	VINYL			TEMPERED GLASS

**WINDOW NOTES:**  
WINDOWS SHALL BE DUAL GLAZED, U-FACTOR: 0.3, SHGC: 0.23  
NFRG TEMPORARY LABEL DISPLAYED ON WINDOWS, MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

**ENERGY REQUIREMENTS NOTE:**  
EVERY FENESTRATION PRODUCT SHALL HAVE ATTACHED TO IT A CLEARLY VISIBLE TEMPORARY LABEL THAT LISTS THE U-FACTOR, THE SOLAR HEAT GAIN COEFFICIENT (SHGC) AND VISIBLE TRANSMITTANCE (VT) AND THAT CERTIFIES COMPLIANCE WITH THE AIR LEAKAGE REQUIREMENTS OF SECTION 110.6(a)(i). COMPONENT MODELING APPROACH (CMA) AND SITE-BUILT FENESTRATION PRODUCTS SHALL HAVE A LABEL CERTIFICATE THAT LISTS THE U-FACTOR, AND SOLAR HEAT GAIN COEFFICIENT (SHGC) AND THE VISIBLE TRANSMITTANCE (VT). DO NOT REMOVE LABEL UNTIL APPROVED BY CITY INSPECTOR.

PLAN NOTES

- ALL DIMENSIONS ARE TO FACE STUDS, CENTER LINE OF STUDS, OR CONCRETE BLOCK
- THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E1300
- FIBER-CEMENT SHALL BE USED AS A BASE FOR CERAMIC WALL TILES IN TUB AND SHOWER AREAS AS WELL AS WALL PANELS IN SHOWER AREAS, PER CRC R702.4.2
- FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX FOR INSULATION SHALL BE IN ACCORDANCE WITH SECTIONS R302.10.1 THROUGH R302.10.5

KEY NOTES

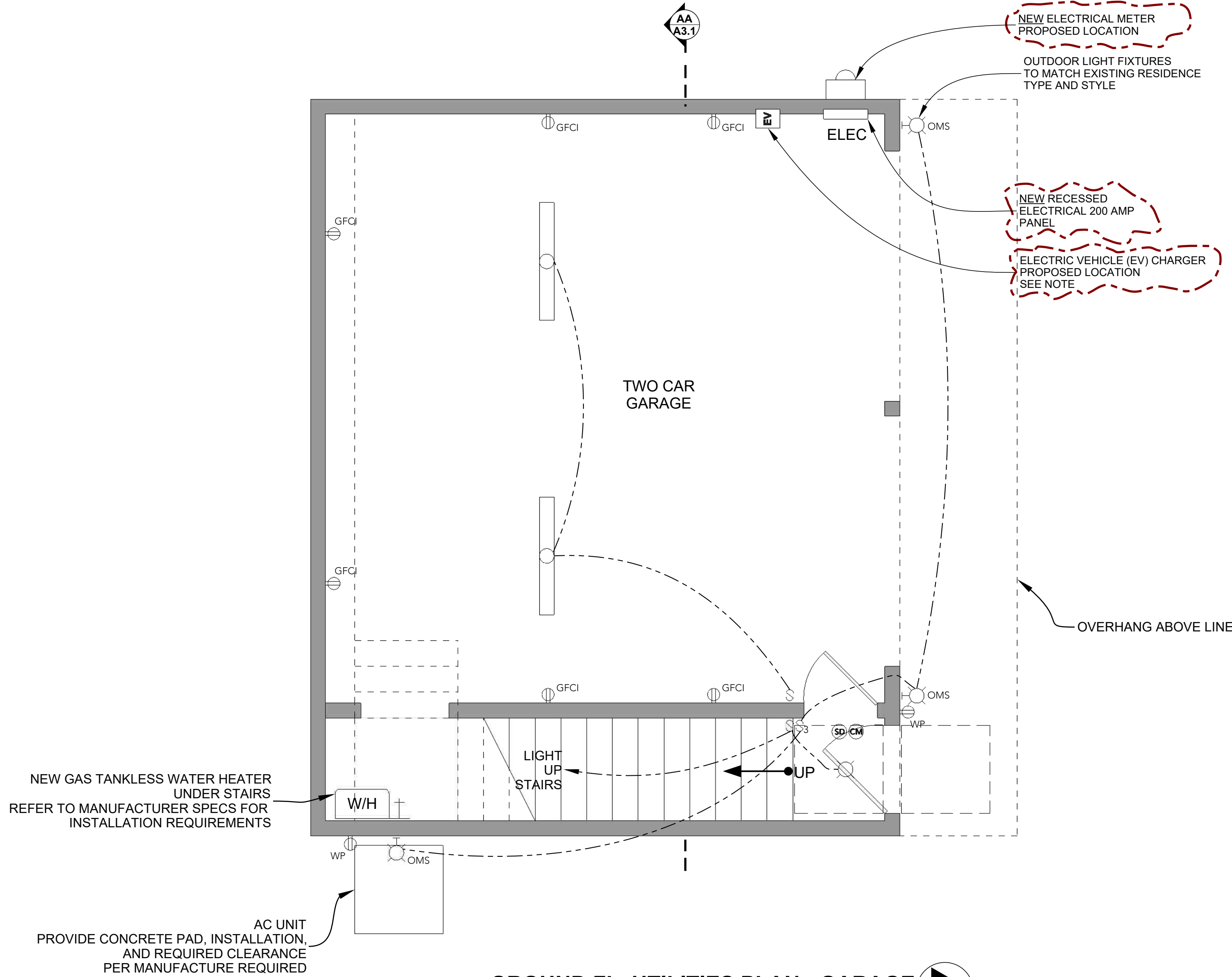
- WATER CLOSETS (TOILETS) WHICH USE NO MORE THAN 1.28 GALLONS PER FLUSH
- ALL SHOWERS AND BATHTUB SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING TYPE VALVE
- BATHTUB, SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH A SHOWER HEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE FLOOR, PER R307.2
- PROVIDE SAFETY GLASS AT BATH PER CRC R308.4.5 (SHOWER DOORS SHALL SWING OUT).
- ATTIC ACCESS DOORS SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE, PER CEC 150.0 (A) 2
- SHOWER HEADS, NO MORE THAN 1.8 GPM
- LAVATORY FAUCETS NO MORE THAN 1.2 GPM
- KITCHEN FAUCETS NO MORE THAN 1.8 GPM
- A DOMESTIC CLOTHES DRYER DUCT SHALL BE OF METAL AND A MINIMUM OF 4 INCHES IN DIAMETER. THE EXHAUST DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOWS. A LENGTH OF 2 FEET SHALL BE DEDUCED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO (504.4.2, CMC)
- MAKE UP AIR SHALL BE PROVIDED FOR TYPE 1 CLOTHES DRYERS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS (NFPA 54:10.4.3.1) WHERE A CLOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER, AND OPENING OF NOT LESS THAN 100 SQUARE INCHES FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS. (CMC 504.4.1)

LEGEND & SYMBOLS

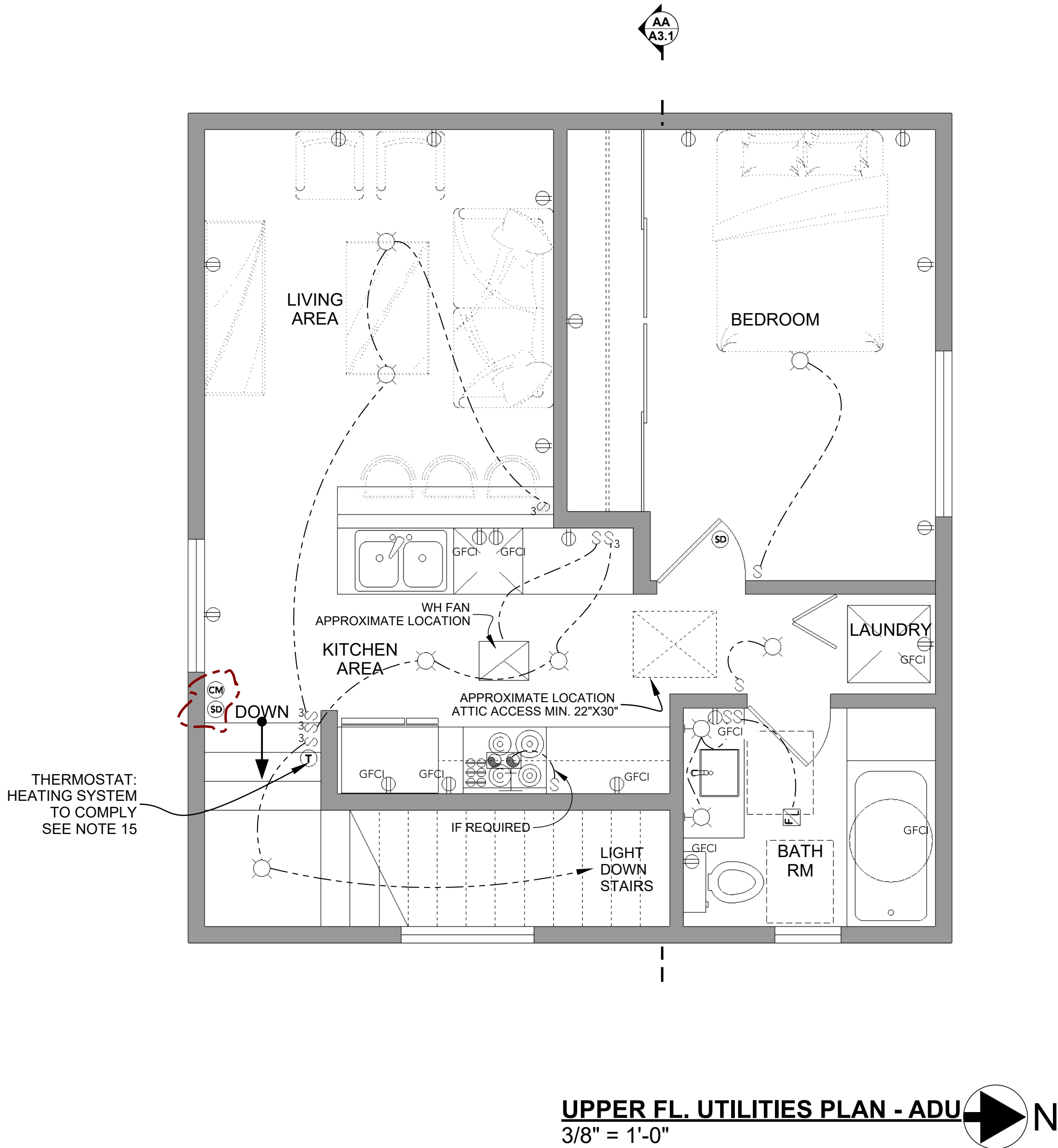
- NEW WALL
- EXISTING WALL
- DOOR TYPE - REFER TO DOOR SCHEDULE
- WINDOW TYPE - REFER TO WINDOW SCHEDULE
- WALL TYPE - SEE WALL SCHEDULE

PROPOSED  
FLOOR PLANS



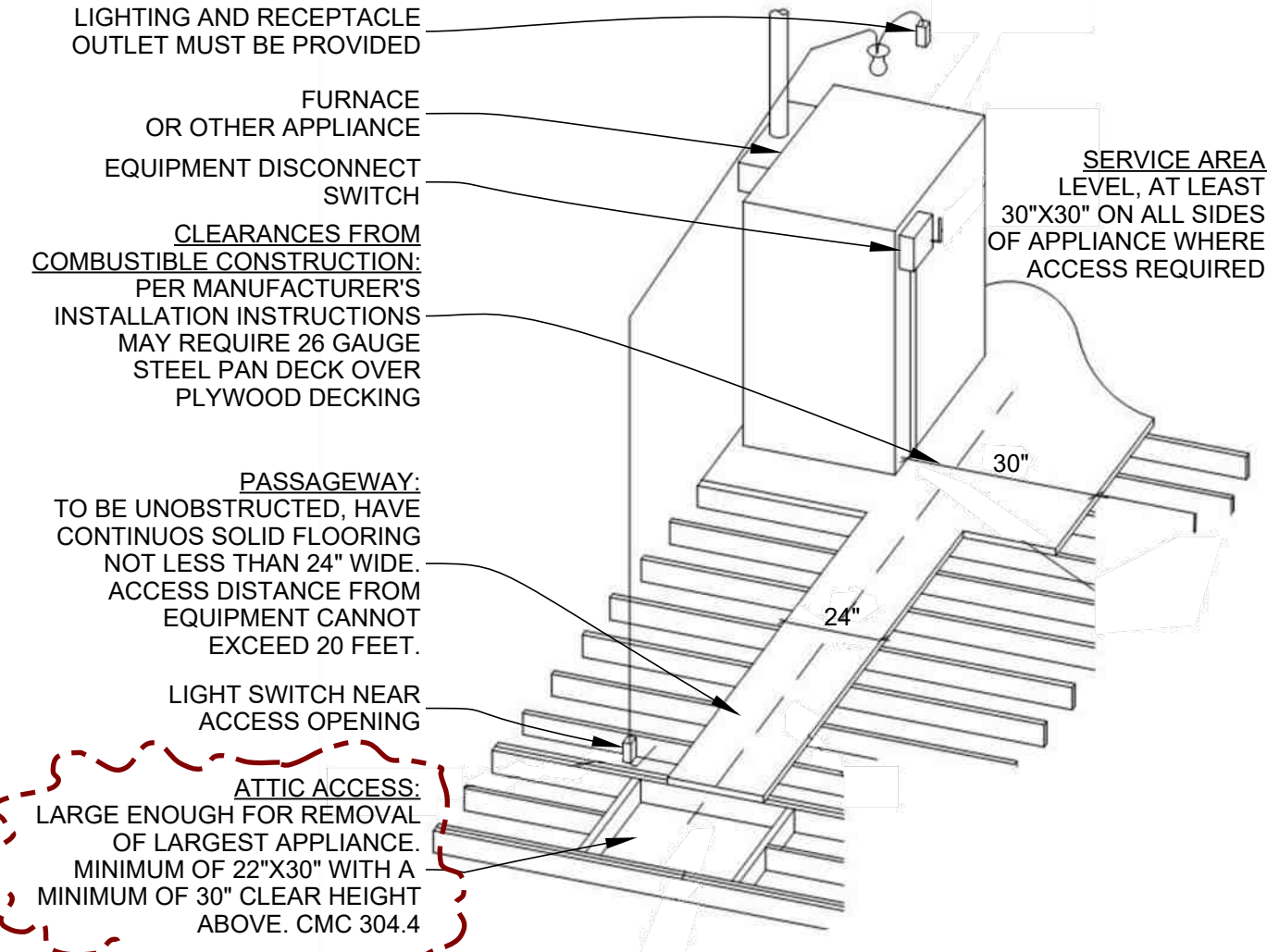


GROUND FL. UTILITIES PLAN - GARAGE  
3/8" = 1'-0"



UPPER FL. UTILITIES PLAN - ADU  
3/8" = 1'-0"

#### ATTIC FURNACE/EQUIPMENT INSTALLATION



#### UTILITY PLAN GENERAL NOTES:

1. BRANCH CIRCUITS FOR LIGHTING AND APPLIANCES, INCLUDING MOTOR-OPERATED APPLIANCES SHALL BE PROVIDED TO SUPPLY THE LOADS COMPUTED IN ACCORDANCE WITH SECTION 220-3 OF THE CEC.
2. RECEPTACLE OUTLETS IN BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER PER CEC ARTICLE 210-12 IN ADDITION TO THE NUMBER OF CIRCUITS REQUIRED BY CODE.
3. AT LEAST ONE 20 AMPS CIRCUIT SHALL BE PROVIDED TO SUPPLY THE BATHROOM RECEPTACLE OUTLETS.
4. ALL EXTERIOR RECEPTACLES SHALL BE GFCI PROTECTED, PER CEC 210.88.
5. ALL 125-VOLT, SINGLE PHASE 15-20 AMP RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTDOORS, KITCHEN COUNTERS, AND WET BAR SINKS.
6. WHERE MORE THAN ONE SMOKE ALARM OR CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT, THE SMOKE/CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN INDIVIDUAL UNIT.
7. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH BOTH SECTIONS R314 AND R315, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL FOR SMOKE ALARMS.
8. RESIDENTIAL BUILDINGS UNDERGOING ADDITIONS OR IMPROVEMENTS, SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES.
9. PROVIDE TAMPER RESISTANT RECEPTACLES FOR ALL NEW RECEPTACLES, PER CEC 406.12 (A).
10. ALL NEW LIGHTING SHALL BE HIGH EFFICACY, PER CEC TABLE 150.0 (K) 1A.
11. PROVIDE AFCI REQUIREMENTS: ALL 120-VOLT, SINGLE PHASE, 15- & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, REC. ROOMS, CLOSETS, LAUNDRY AREAS, HALLWAYS AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT, PER CEC 210.12.
12. PROVIDE A MIN (2) 20 AMP SMALL APPLIANCE CIRCUITS FOR THE KITCHEN COUNTER TOPS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. LOADS SHALL BE BALANCED. CEC 210-52 (B)(2).
13. PROVIDE A MINIMUM OF 1 - 20 AMP LAUNDRY BRANCH CIRCUIT. SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS CEC 210-23(a).
14. ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.
15. EXHAUST FANS AT BATHROOMS SHALL BE ENERGY STAR COMPLIANT WITH A MINIMUM VENTILATION RATE OF 50 CFM, AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING, PER CGBC 4.506.1.
16. EXHAUST FANS AT KITCHENS SHALL BE ENERGY STAR COMPLIANT WITH A MINIMUM VENTILATION RATE OF 100 CFM AND BE DUCTED TO THE OUTSIDE. RANGE HOODS MUST VENT OUTSIDE. ALUMINUM FLEX DUCT NOT ALLOWED.
17. HVAC: A SYSTEM SERVING AN ADU MUST HAVE ITS OWN THERMOSTAT. HEATING SYSTEMS MUST BE CAPABLE OF MAINTAINING 68 DEGREE FARENHEIT AT A POINT THREE FEET ABOVE THE FLOOR AND TWO FEET FROM THE EXTERIOR WALLS IN HABITABLE ROOMS. SEE TITLE 24 FOR HEATING AND COOLING LOAD CALCULATIONS.
18. NO BUILDING SEWER OR OTHER DRAINAGE PIPING OR PART THEREOF, CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED FOR USE UNDER OR WITHIN A BUILDING, SHALL BE INSTALLED UNDER OR WITHIN 2 FEET OF A BUILDING OR STRUCTURE, OR LESS THAN 1 FOOT BELOW THE SURFACE OF THE GROUND. CPC 312.3.
19. PROVIDE ELECTRICAL CIRCUIT FOR EV CHARGER. INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. THE RACE WAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1 INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, OR BOX IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. CGBCS 4.106.4.1.

#### ELECTRICAL LOAD CALCULATION SCHEDULE (TOTAL 1020 SF)

COMPUTED LOAD:	
- SF OF HOUSE x 3W/SF	3060
- SMALL APPLIANCE CIRCUITS	3000
APPLICATION OF DEMAND:	
- GARBAGE DISPOSAL	1000
- DISHWASHER	1500
- GAS WASHER/DRYER	3000
- MICROWAVE	1200
- REFRIGERATOR	1200
- RANGE	200
- GAS TANKLESS WH	200
- A/C UNIT	6000
- OUTSIDE LIGHTING	200
- EV CHARGER	9000
- 8000W @ 100%	8000
- REMAINDER @ 40%	987
TOTAL	41,547 WATTS

200 AMP @ 120/240V, 1-PHASE, 3 WIRE

#### EQUIPMENT NOTES

REFER TO ALL MANUFACTURER'S INSTALLATION REQUIREMENTS AND MANUFACTURER REQUIRED CLEARANCES FOR INSTALLATION.

**WHOLE HOUSE FAN:** QUIETCOOL ENERGY SAVER LINE, MODEL: QC ES-2250  
HVI-916 Airflow (for CA Title 24 New Construction): HI 1850 CFM / LOW 1420 CFM  
**KITCHEN LOCAL EXHAUST:** GE 1.6 CU. FT. OVER THE RANGE MICROWAVE OVEN, MODEL: JVM3160RFSS  
300 CFM, EXTERNALLY VENTED AT INSTALLATION  
**WATER HEATER:** TAKAGI 200 SERIES TANKLESS WH, MODEL: TK-110U-I (INDOOR)  
UEF: 0.82  
**CENTRAL AC UNIT:** TRANE XB SERIES, MODEL: 4TTB3060D  
4 TON, SEER 14

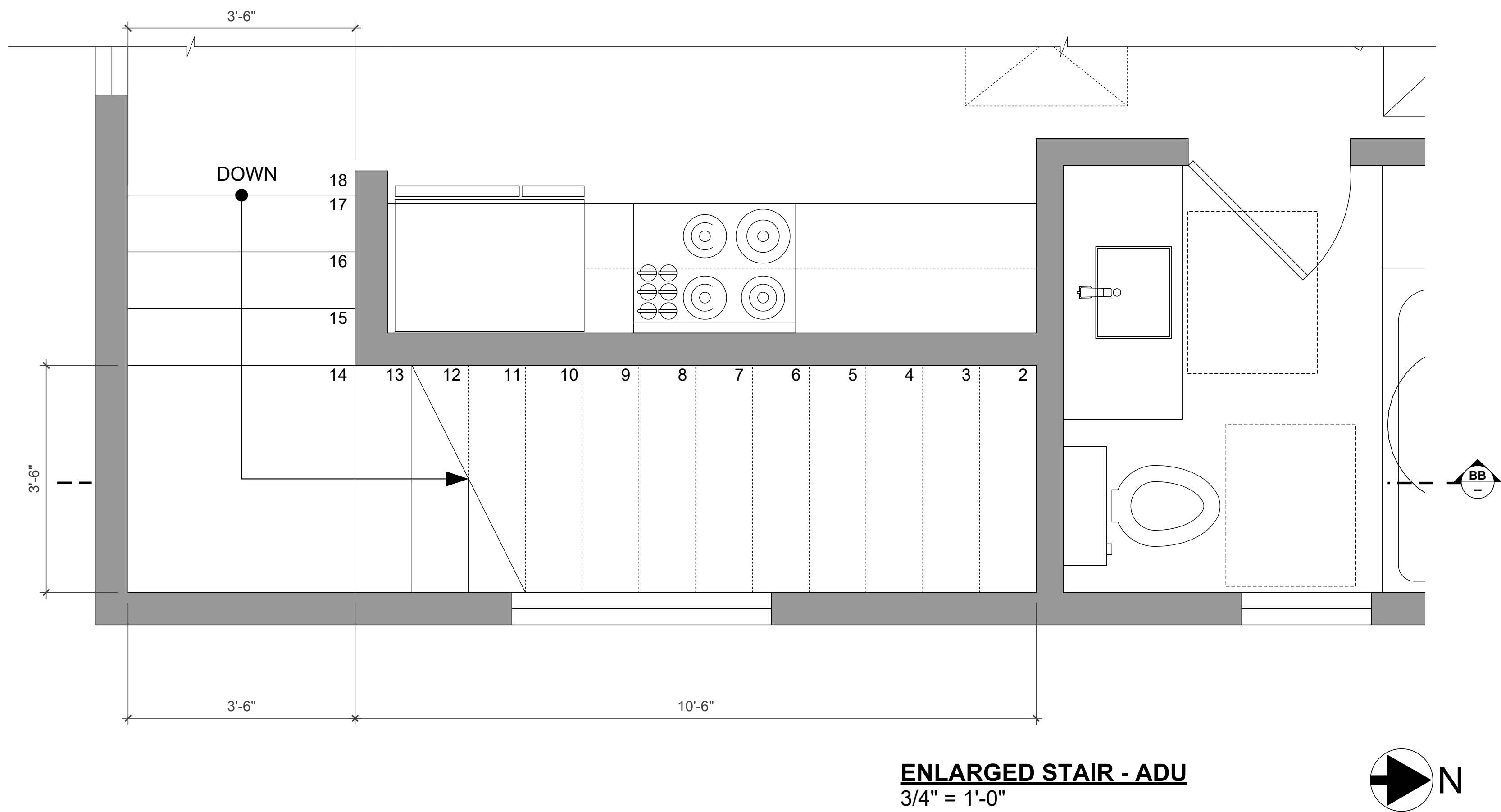
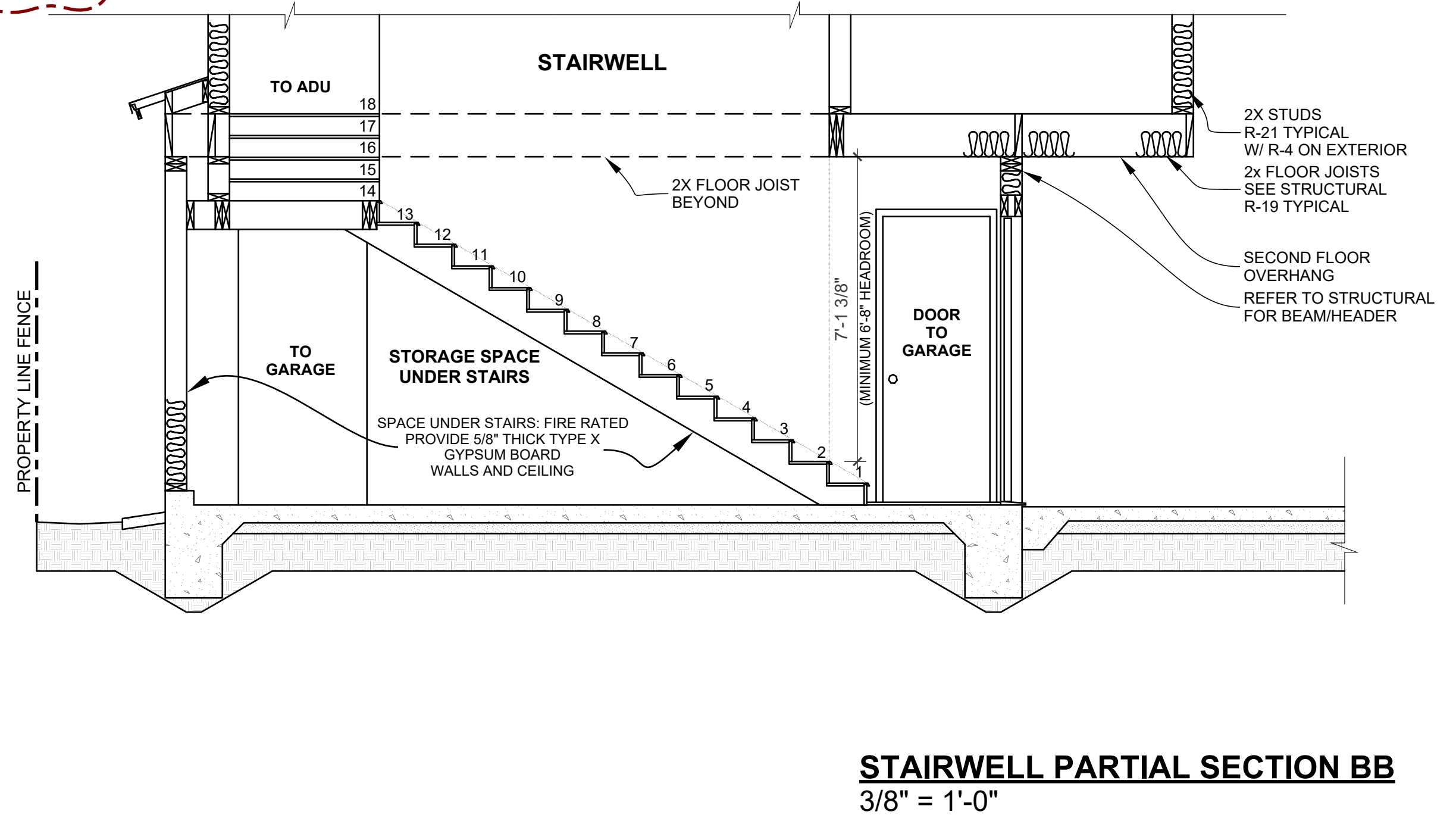
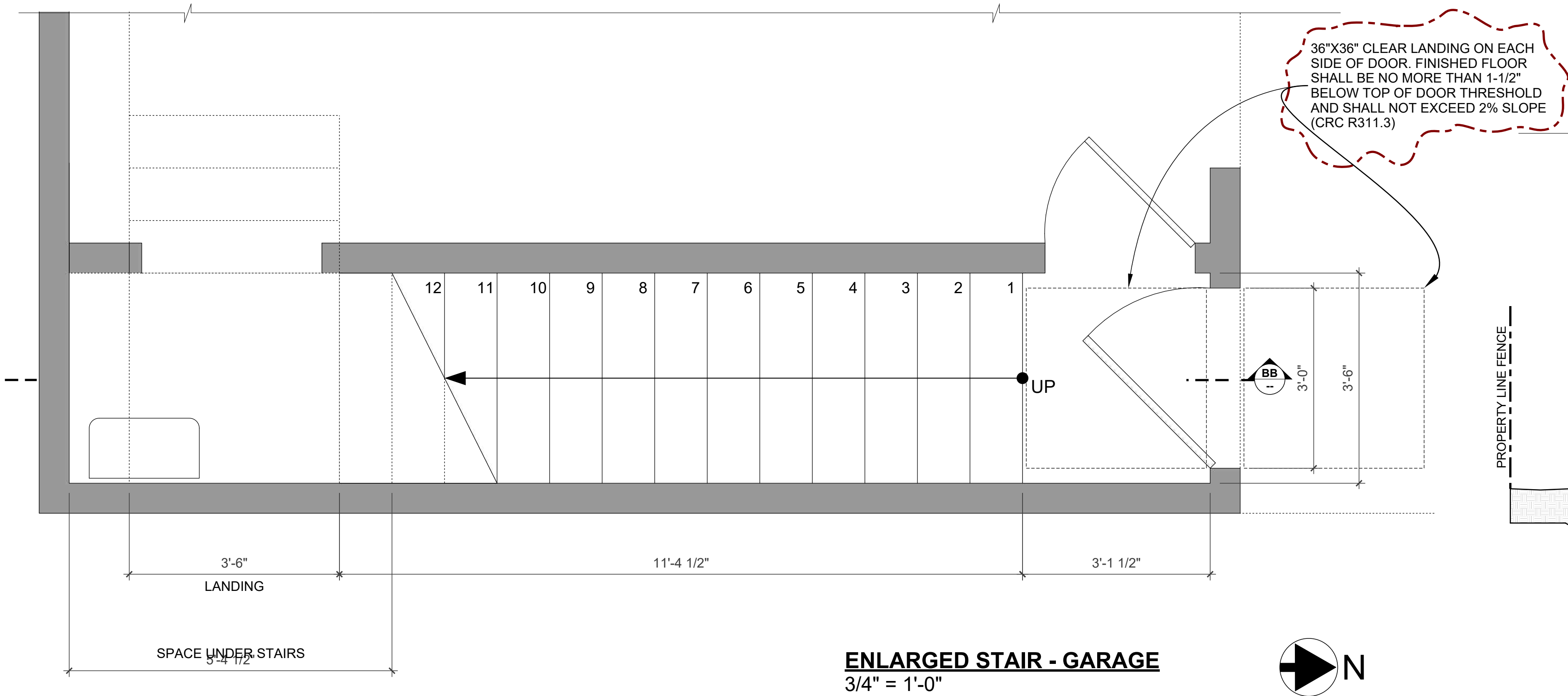
#### CALIFORNIA ENERGY COMMISSION FLOW RATE STANDARDS:

1. WATER CLOSETS:	1.28 GPM
2. SHOWERHEADS:	1.8 GPM
3. LAVATORY SINK FAUCETS:	1.2 GPM
4. KITCHEN FAUCETS:	1.8 GPM

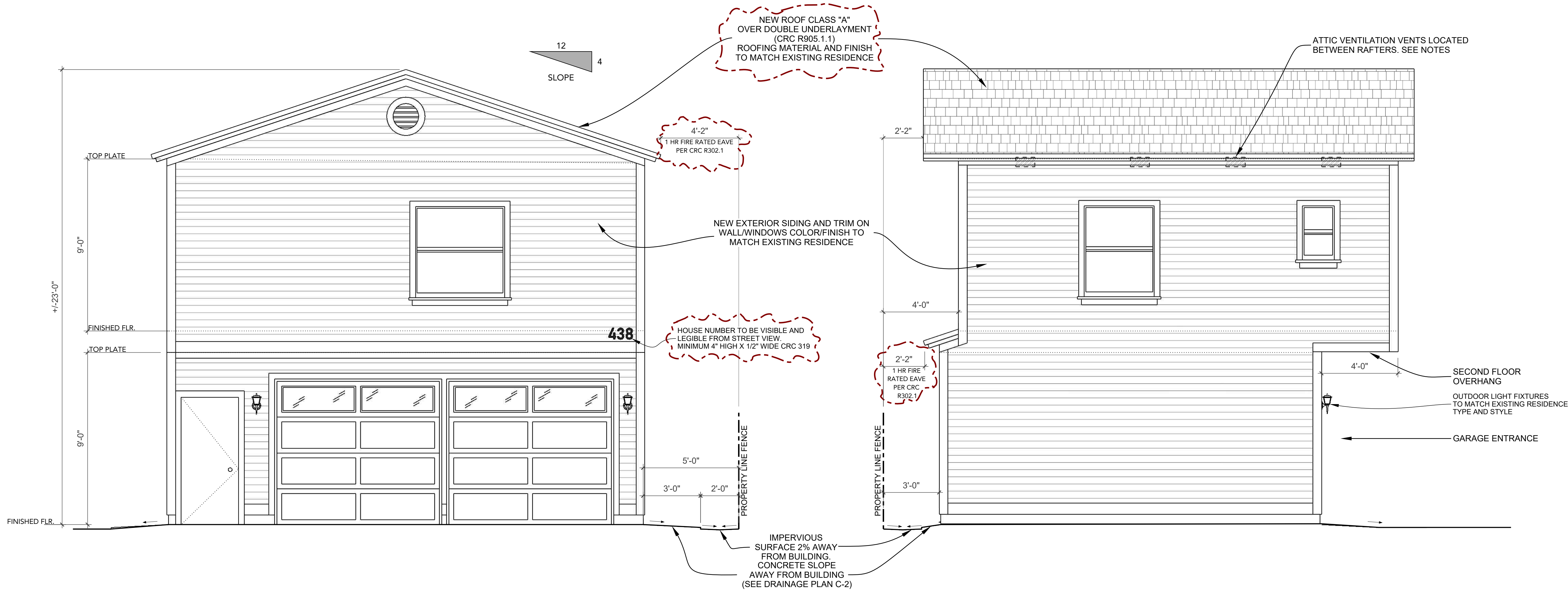
#### LEGEND AND SYMBOLS

	FLUORESCENT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	OUTDOOR MOTION SENSOR LIGHT FIXTURE
	CEILING LIGHT
	RECEPTACLE OUTLET
	RECEPTACLE OUTLET - FAULT CIRCUIT INTERRUPTERS
	RECEPTACLE OUTLET - WATER PROOFED
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN WITH LIGHT (50 CFM MIN.)
	LIGHT SWITCH
	LIGHT 3 WAY SWITCH
	THERMOSTAT
	FUEL GAS
	RANGE HOOD EXHAUST FAN (100 CFM MIN.)
	WHOLE HOUSE FAN
	ELECTRIC VEHICLE (EV) CHARGER

#### PROPOSED UTILITIES PLANS







**NORTH ELEVATION**  
3/8" = 1'-0"

**EAST ELEVATION**  
3/8" = 1'-0"

- NOTES:**
1. PROPOSED GARAGE AND ADU: ARCHITECTURE, MATERIAL FINISH AND COLOR SHOULD MATCH EXISTING RESIDENCE
  2. **ATTIC VENTILATION:** THE REQUIRED VENTILATION AREA RATIO IS 1/150 OF THE ATTIC AREA OR 1/300 OF ATTIC AREA IF AT LEAST HALF OF THE VENT AREA IS LOCATED MORE THAN 3 FEET ABOVE EAVE VENTS (PROVIDING THE REMAINING PORTION OF THE VENT AREA)
  3. OPENINGS SHALL HAVE 1/4" CORROSION RESISTANT METAL MESH COVERINGS.
- ATTIC VENTILATION CALCULATION:**  
ATTIC AREA: 600 SF/150 = 4 SQ. FT. REQUIRED

**PROPOSED  
EXTERIOR  
ELEVATIONS**

PREPARED FOR:

PREPARED BY:

PROJECT:

REVISIONS:

CITY OF COVINA  
CORRECTIONS: 11/30/2021

SHEET TITLE

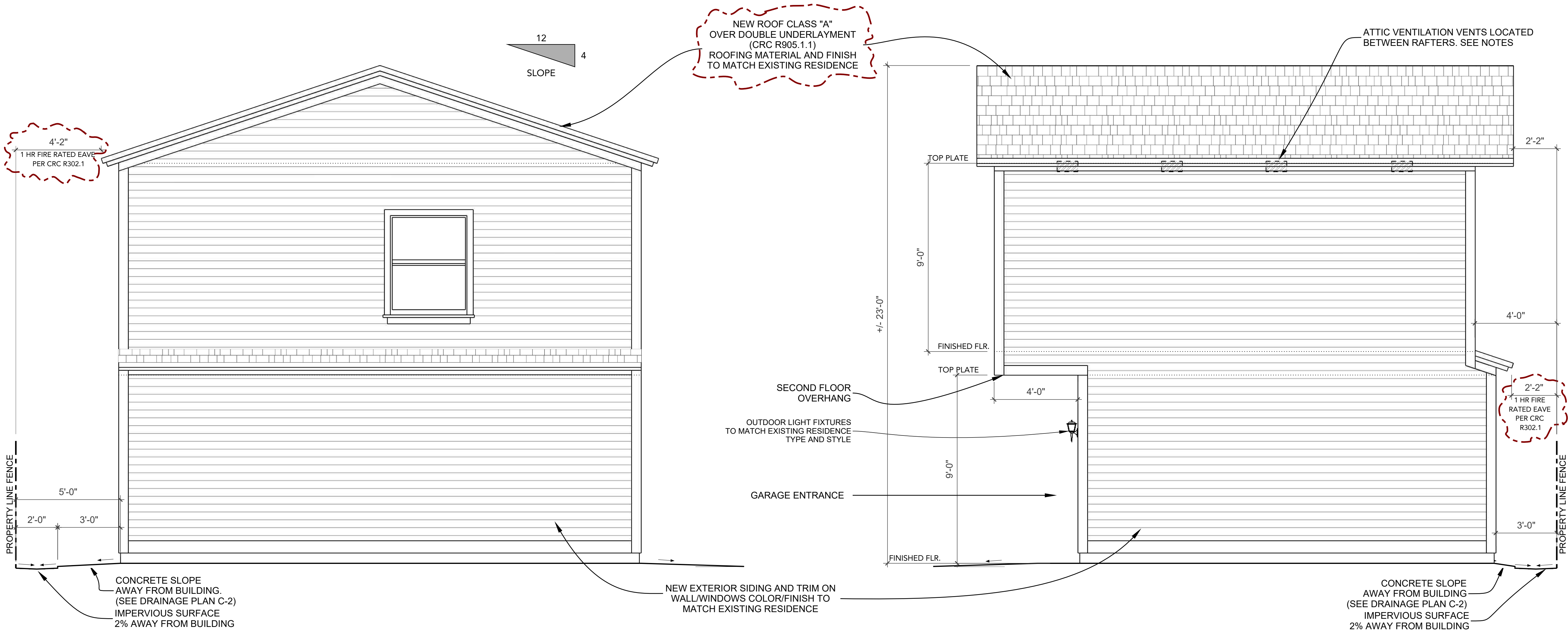
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SCALE

PROJECT NUMBER

DRAWN BY

SHEET NUMBER



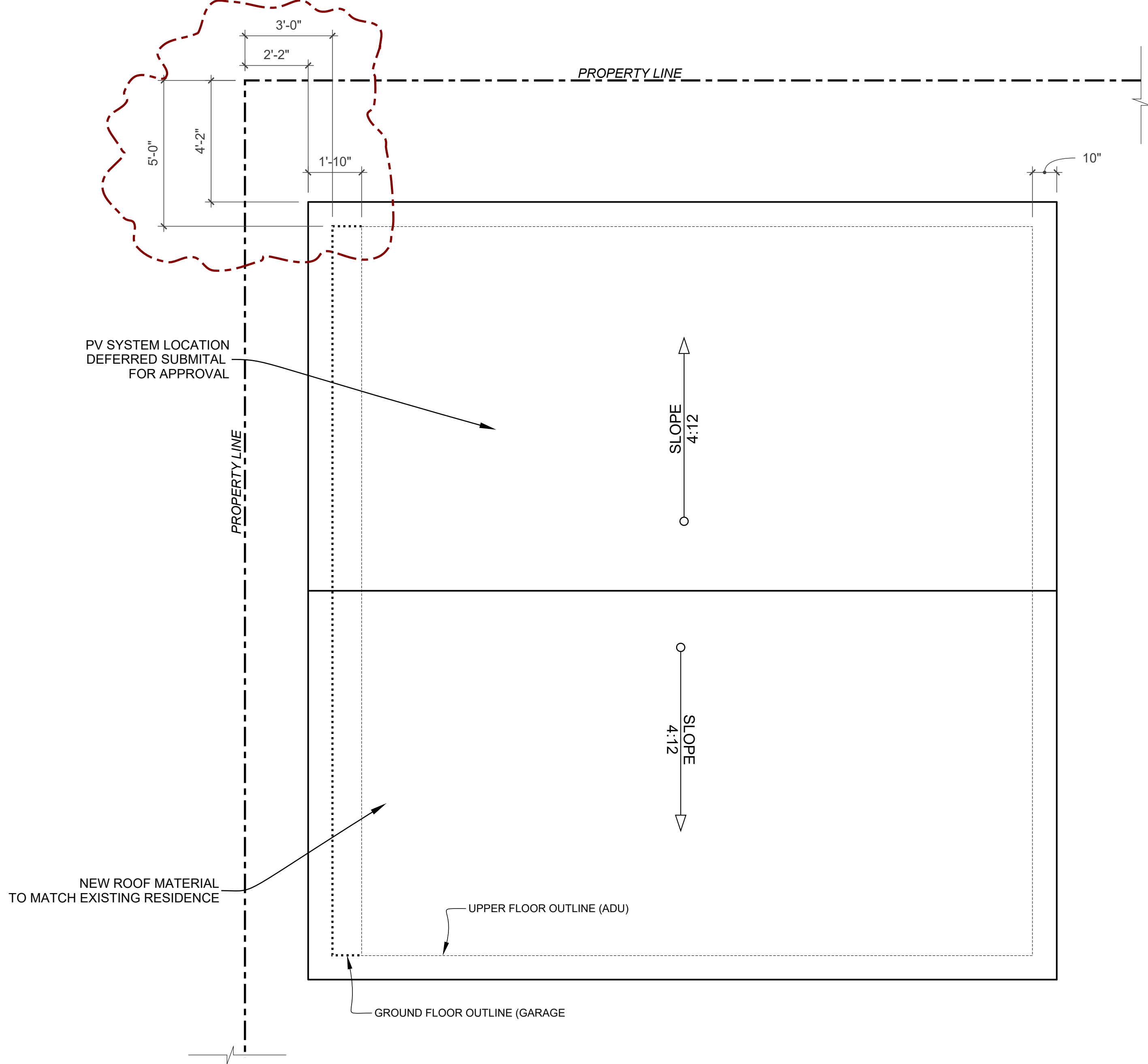
**SOUTH ELEVATION**  
3/8" = 1'-0"

**WEST ELEVATION**  
3/8" = 1'-0"

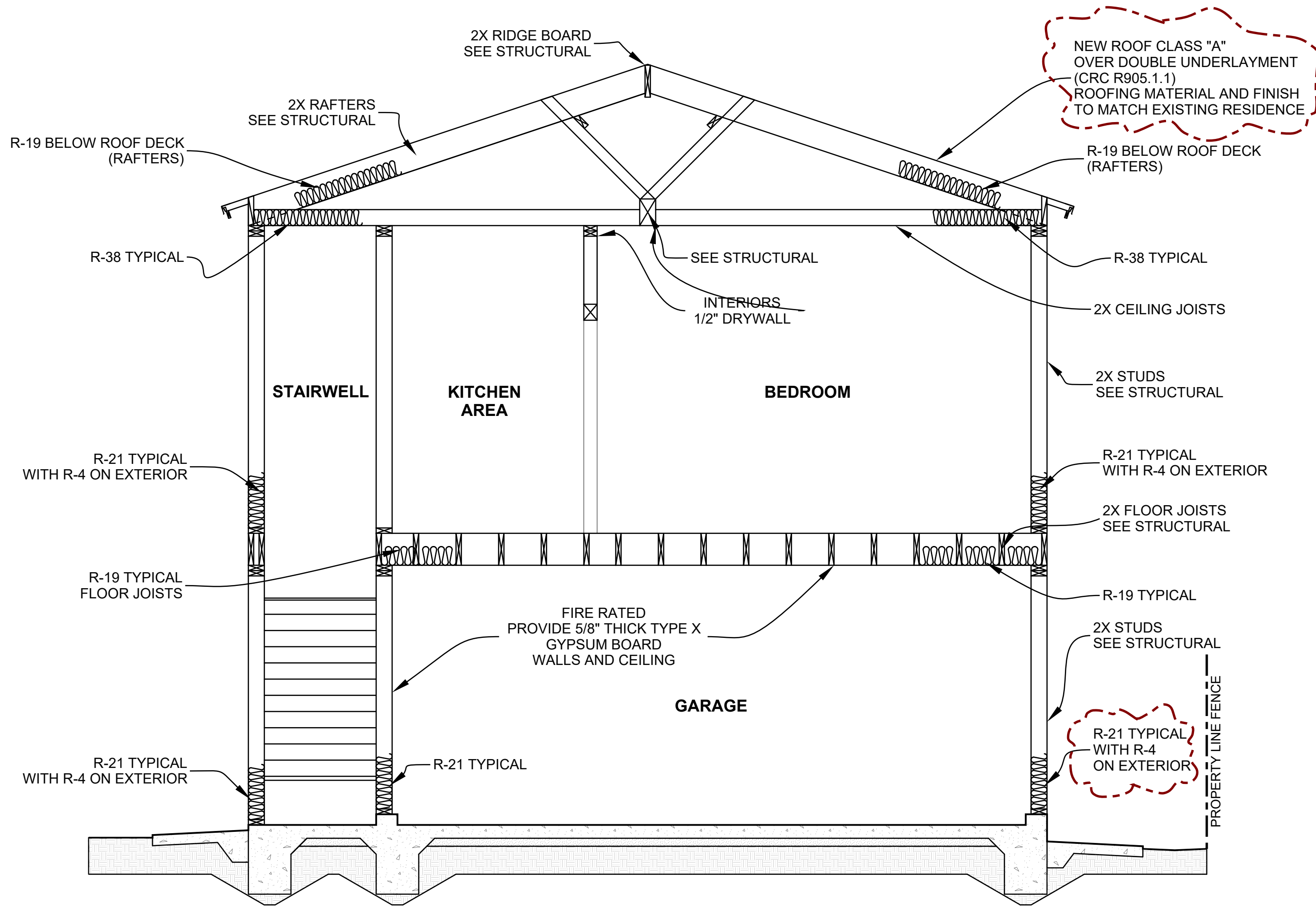
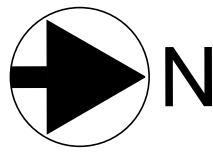
- NOTES:**
- PROPOSED GARAGE AND ADU: ARCHITECTURE, MATERIALS AND COLOR SHOULD MATCH EXISTING RESIDENCE
- ATTIC VENTILATION:**
- THE REQUIRED VENTILATION AREA RATIO IS 1/150 OF THE ATTIC AREA OR 1/300 OF ATTIC AREA IF AT LEAST HALF OF THE VENT AREA IS LOCATED MORE THAN 3 FEET ABOVE EAVE VENTS (PROVIDING THE REMAINING PORTION OF THE VENT AREA)
  - OPENINGS SHALL HAVE 1/4" CORROSION RESISTANT METAL MESH COVERINGS.
- ATTIC VENTILATION CALCULATION:**  
ATTIC AREA: 600 SF/150 = 4 SF REQUIRED  
8 VENTS @ .5 SF REQUIRED

**PROPOSED  
EXTERIOR  
ELEVATIONS**





**PROPOSED ROOFPLAN - ADU**  
3/8" = 1'-0"

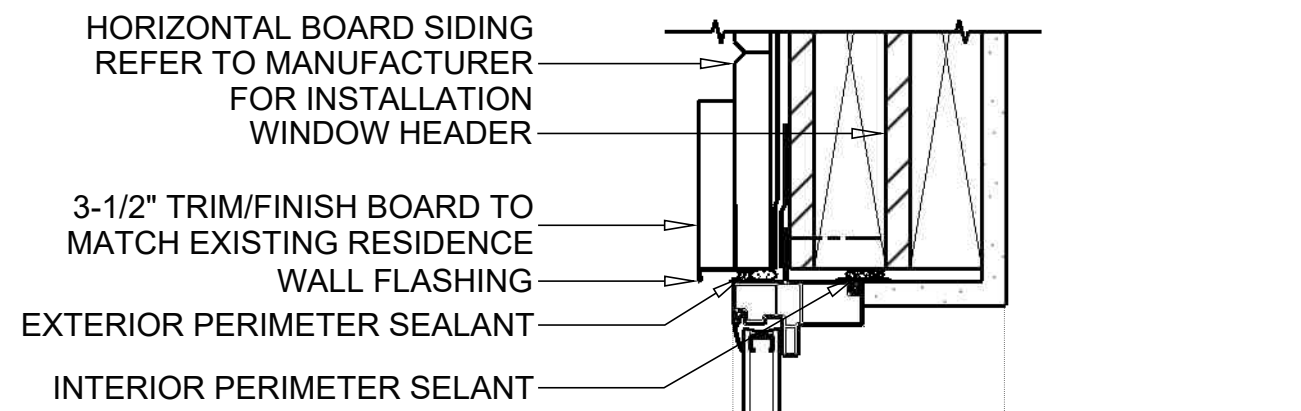


**SECTION AA**  
3/8" = 1'-0"

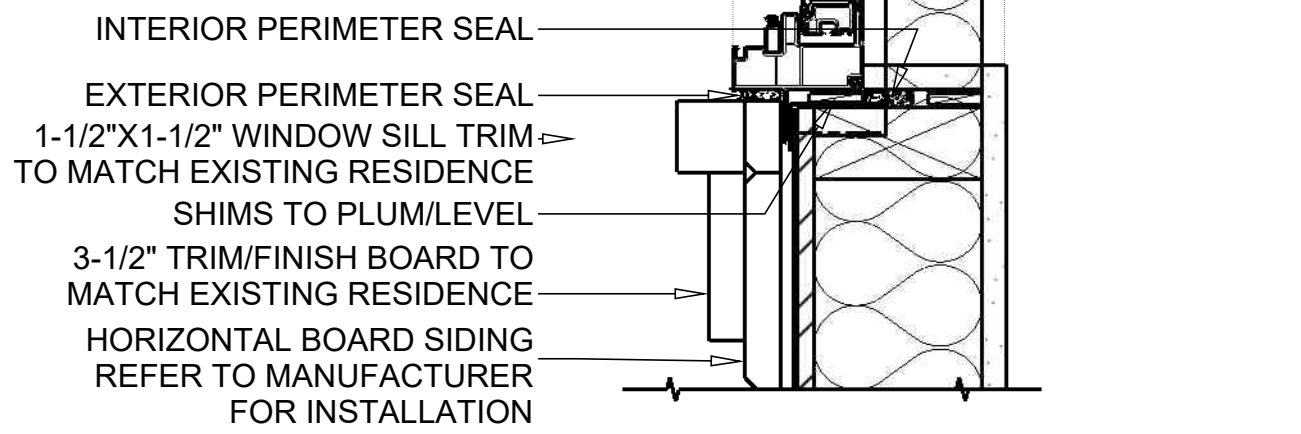
- NOTES:**
- PROPOSED GARAGE AND ADU: ARCHITECTURE, MATERIALS AND COLOR SHOULD MATCH EXISTING RESIDENCE.
- ATTIC VENTILATION:**
- THE REQUIRED VENTILATION AREA RATIO IS 1/150 OF THE ATTIC AREA OR 1/300 OF ATTIC AREA IF AT LEAST HALF OF THE VENT AREA IS LOCATED MORE THAN 3 FEET ABOVE EAVE VENTS (PROVIDING THE REMAINING PORTION OF THE VENT AREA)
  - OPENINGS SHALL HAVE 1/4" CORROSION RESISTANT METAL MESH COVERINGS.
- ATTIC VENTILATION CALCULATION:**  
ATTIC AREA: 600 SF/150 = 4 SF REQUIRED  
8 VENTS @ .5 SF REQUIRED
- STRUCTURAL:**
- REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION DETAILS AND INFORMATION NOTES.

**PROPOSED SECTION AND ROOF PLAN**

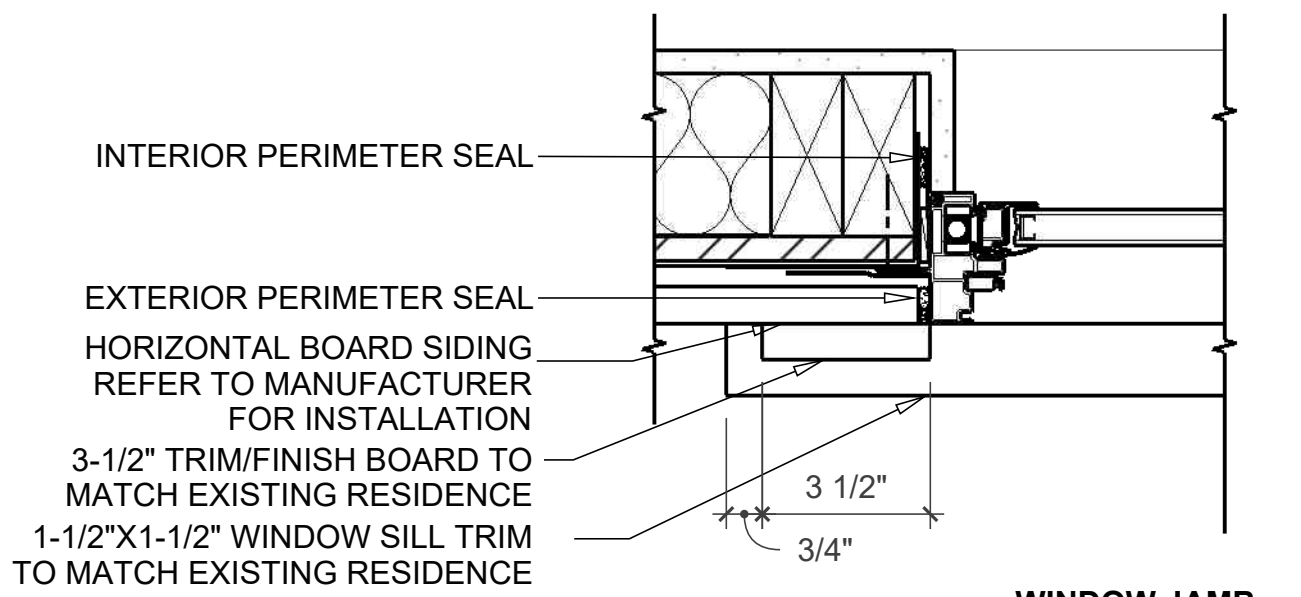




WINDOW HEADER



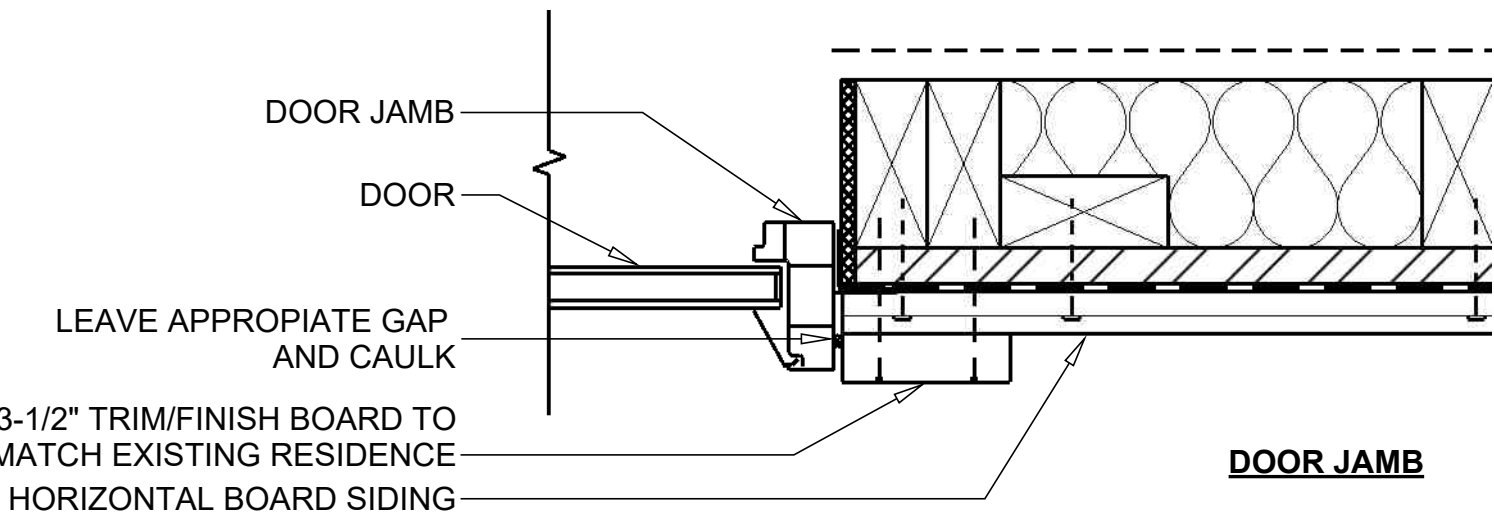
WINDOW SILL



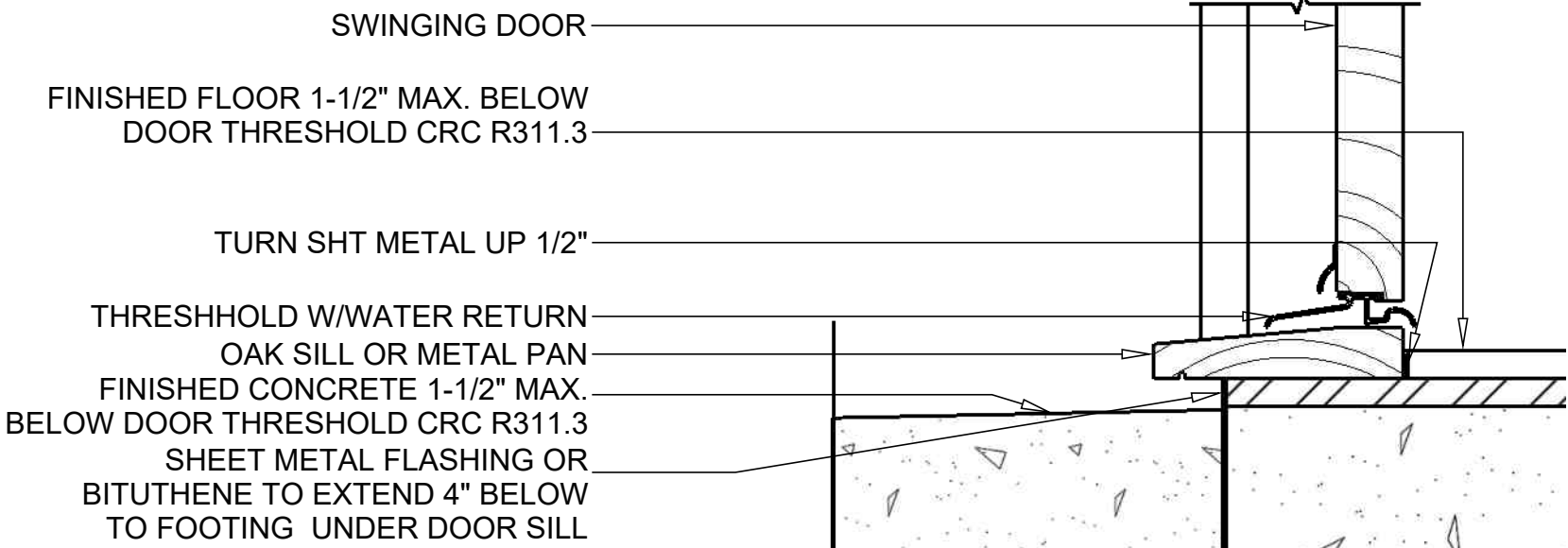
WINDOW JAMB

NOTE: REFER TO WINDOW MANUFACTURER'S INSTRUCTIONS FOR PROPER WINDOW INSTALLATION.

WINDOW - DETAILS 04



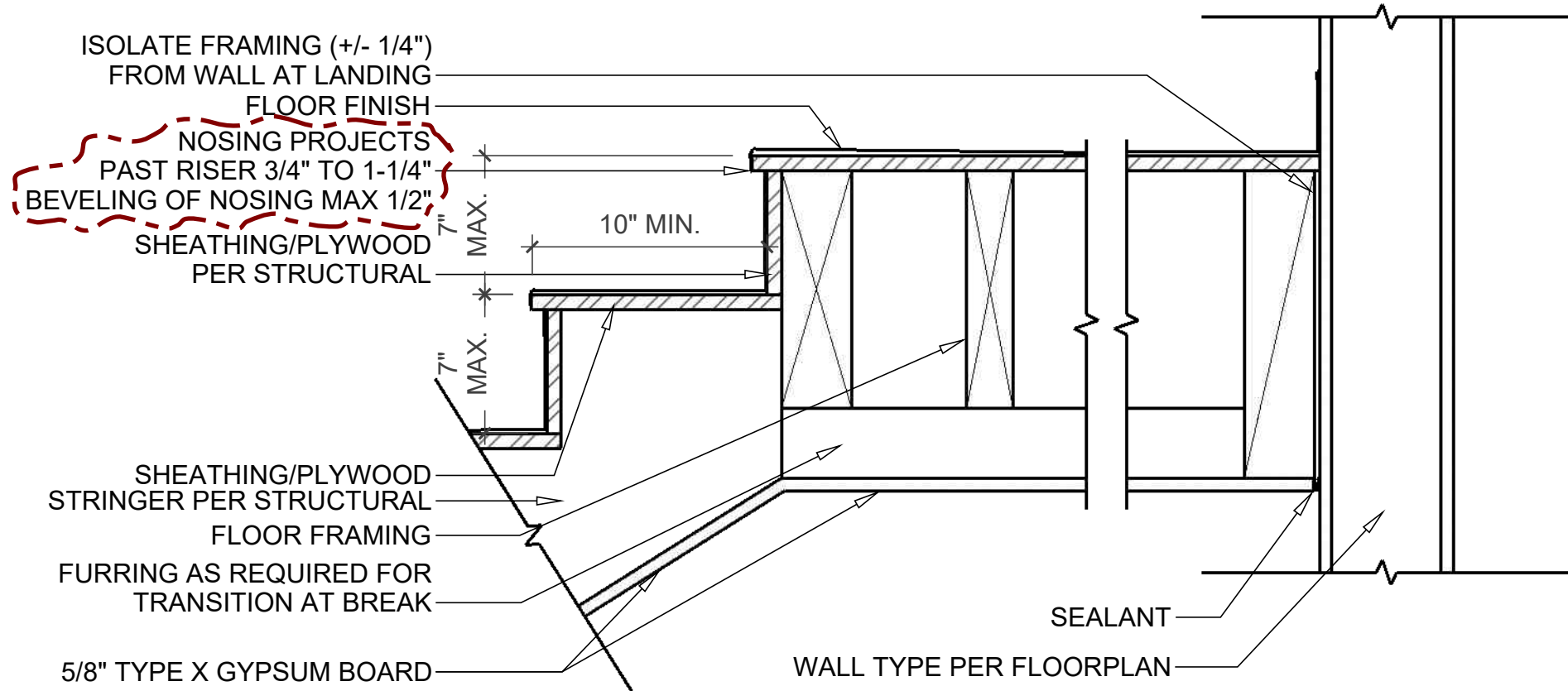
DOOR JAMB



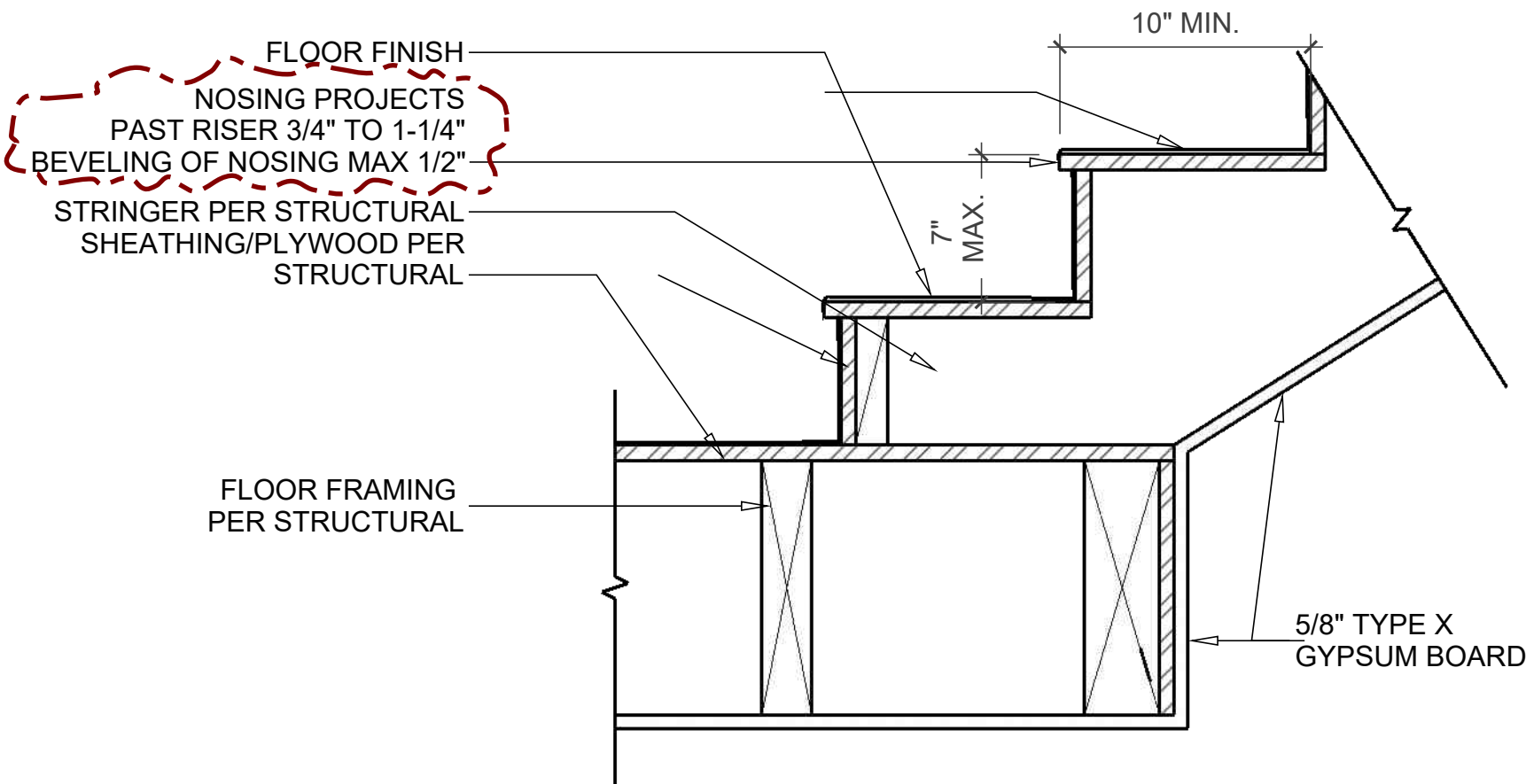
DOOR SILL/THRESHOLD

NOTE: REFER TO DOOR MANUFACTURER'S INSTRUCTIONS FOR PROPER WINDOW INSTALLATION.

DOOR - DETAILS 05

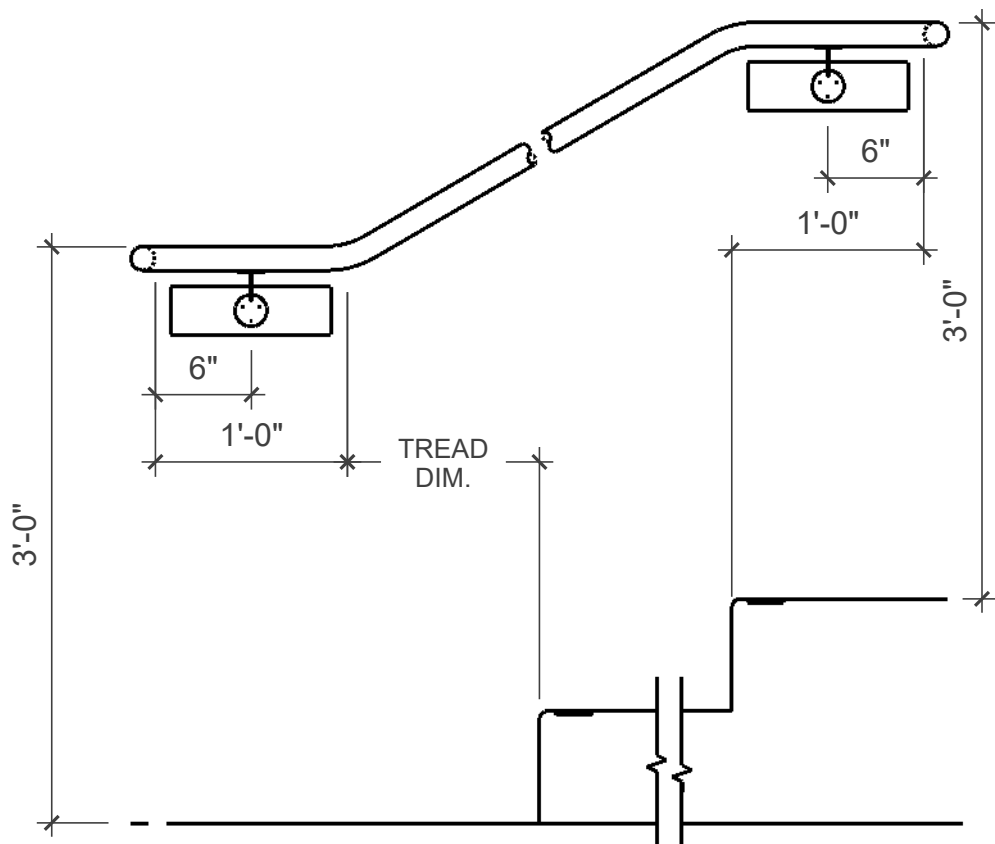


STAIR TREAD AT TOP LANDING



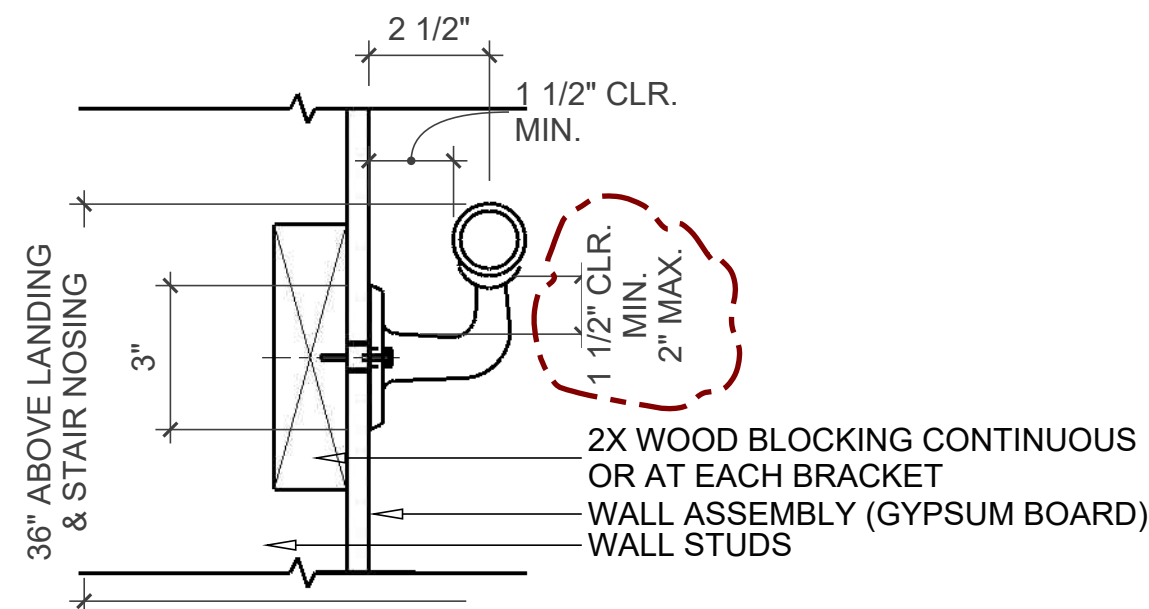
STAIR TREAD AT BOTTOM LANDING

STAIRS - DETAILS 06



WALL MOUNTED HANDRAIL

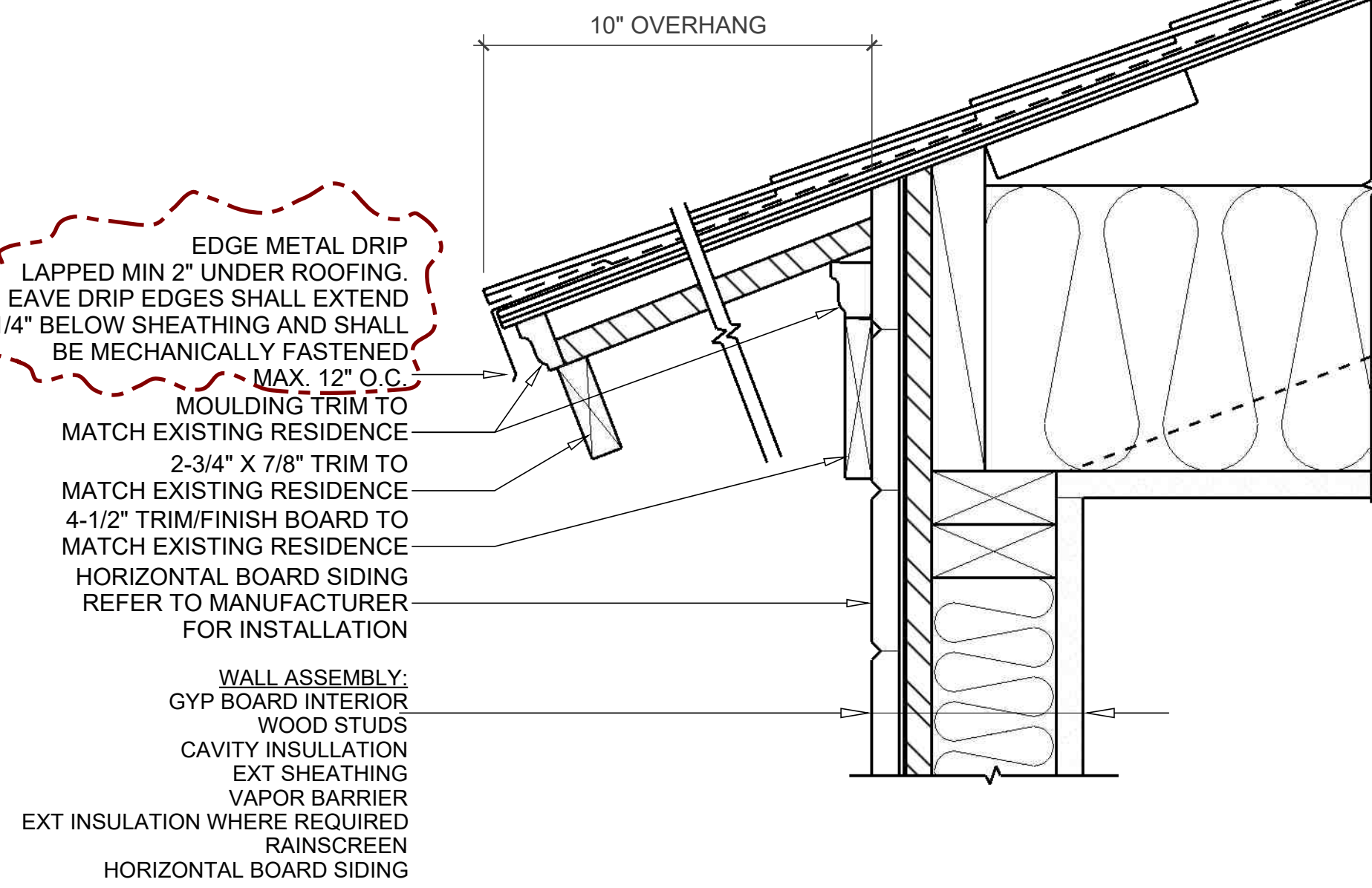
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WALL MOUNTED HANDRAIL

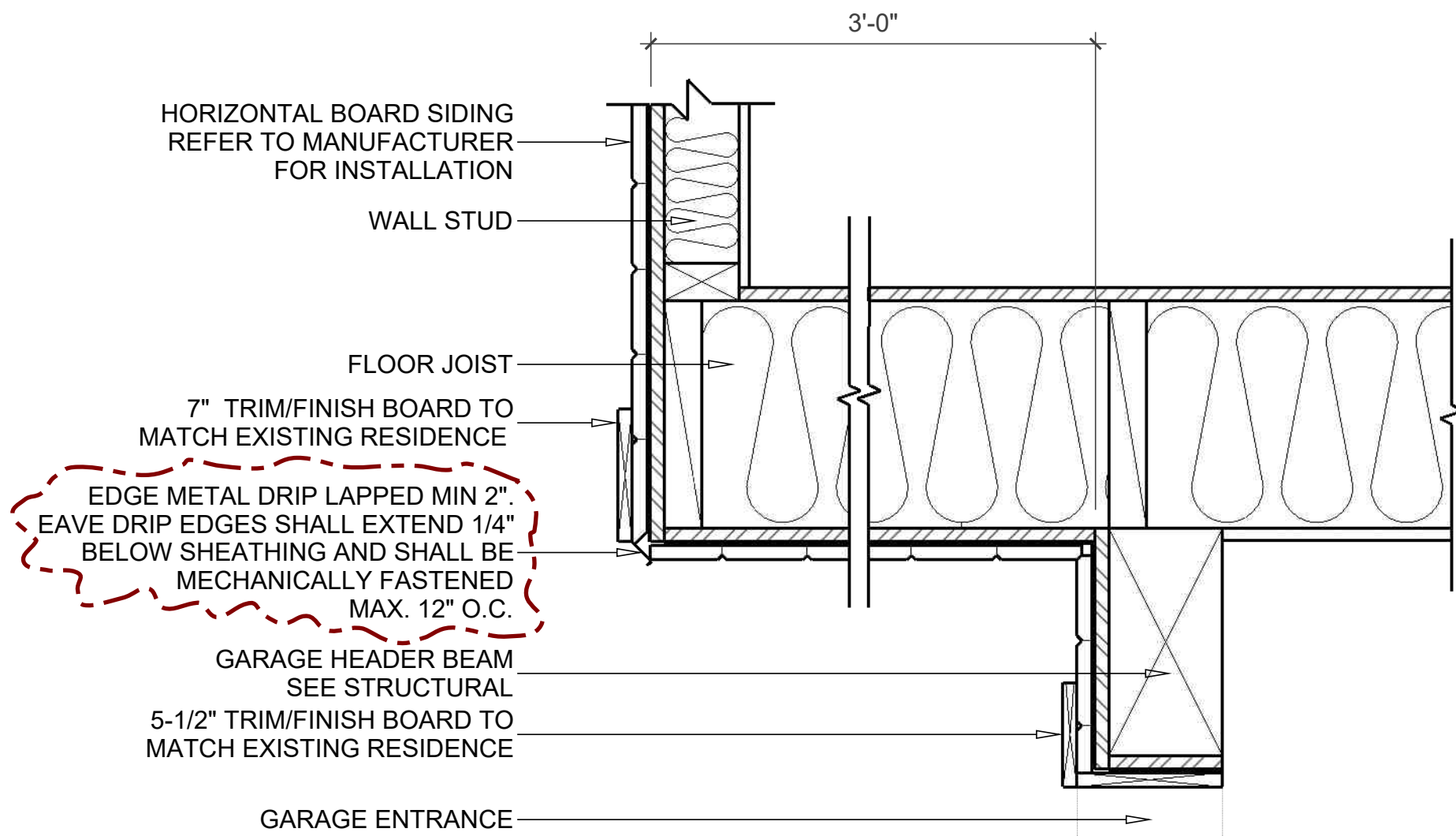
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STAIRS HANDRAIL - DETAILS 07



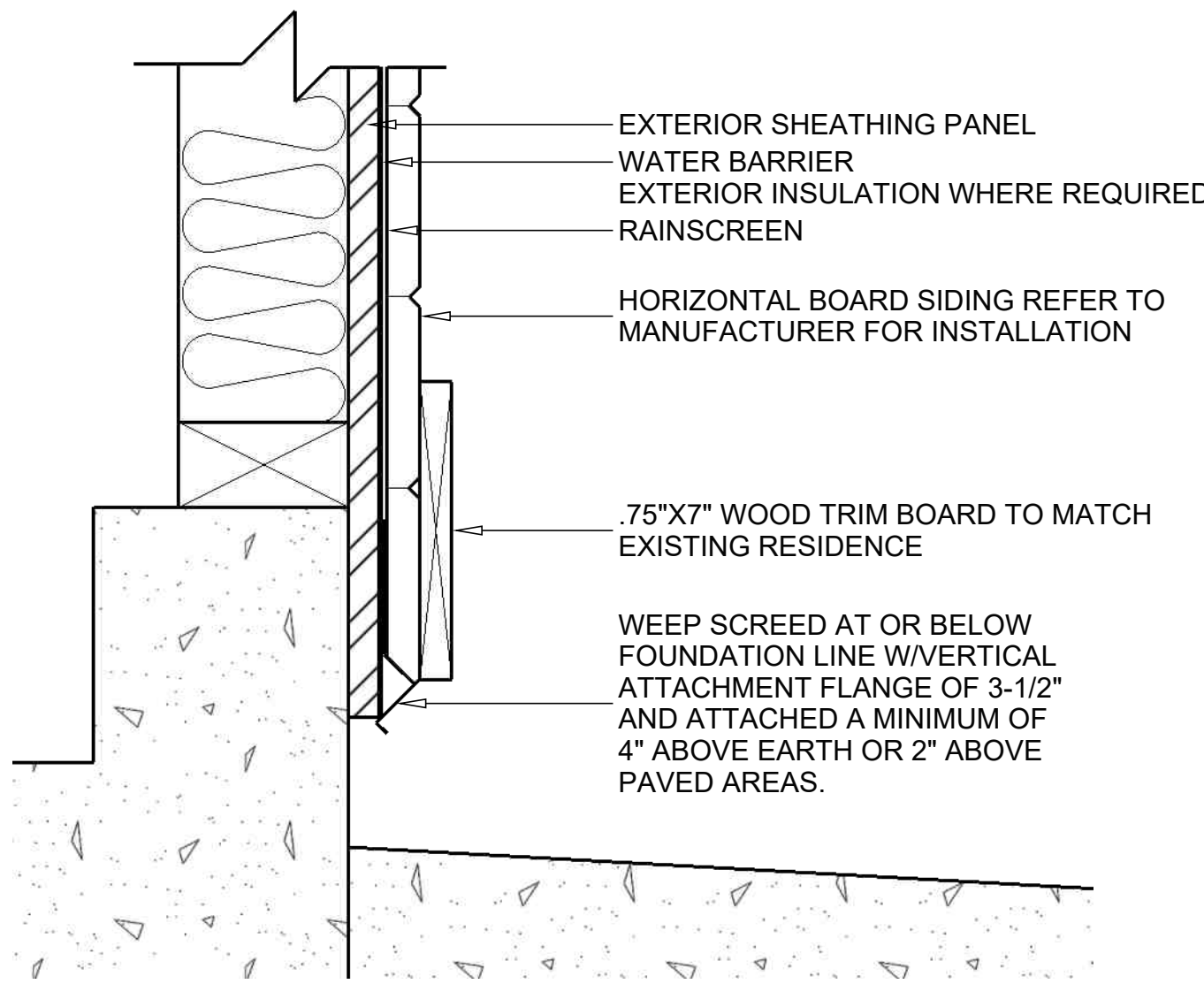
EAVE - DETAIL 01

SCALE: 3"=1'0"



SECOND FLOOR OVERHANG - DETAIL 02

SCALE: 1-1/2"=1'0"



PAVING TO SILL - DETAIL 03

SCALE: 3"=1'0"

PREPARED FOR:

PREPARED BY:

PROJECT:

REVISIONS:

CITY OF COVINA  
CORRECTIONS: 11/30/2021

SHEET TITLE

DETAILS

CADD FILE

SCALE

PROJECT NUMBER

DRAWN BY

SHEET NUMBER



SCALE: 3"=1'0" **1 HOUR FIRE RATED WALL/EAVE DETAIL 08**

SCALE: 3"=1'0" **ROOF AT WALL - DETAIL 06**

### POLLUTION CONTROL TABLES (PER SECTION CGBS 4.504)

SCALE: 1-1/2"=1'0"